

WILD POINTE RANCH

DESIGN GUIDELINES

**August, 2004 (Revised December, 2005, May, 2011, January 2012,
December 2012, July 2013 and November 2014, July 2017,
April 2018**

WILD POINTE RANCH

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April 2018

I. INTRODUCTION

The Wild Pointe Ranch community is challenged with the need to conserve and protect distinctive natural features of the property while properly blending the residential lots into the natural landscape. In order to ensure that the intent of these planning concepts is followed throughout the design and construction phase, and that a quality environment is created, these Design and Maintenance Standards have been adopted by the Master Developer and the HOA Board. They are a tool to be used by the Architectural Review Committee (the "Committee"), in conjunction with the Development Guide Agreement, and the Declaration Creating Covenants, Conditions, Restrictions and Easements for Wild Pointe Ranch, as the same may be amended from time to time, to guide development in a sensible managed process, while still allowing for individual freedom of expression. All site plans and proposed site improvements must be submitted for review by the Committee. No construction shall occur without first receiving Committee approval. It will be the expressed purpose of the Architectural Review Committee to consistently and reasonably interpret these Design Guidelines.

The role of the Architectural Review Committee is directed toward review and approval of exterior design, appearance, architectural vocabulary and aesthetics. The Committee assumes no responsibility with regard to structural, mechanical, electrical, or other construction details.

These Design Guidelines should be used as a tool to assist architects, builders, engineers, and future homeowners in design and construction of new homes and home additions or alterations in Wild Pointe Ranch.

The primary areas of concern addressed by these Design Guidelines are site development, architectural character and landscape appearance, especially as these relate to harmonious relationships with the existing terrain and among neighboring homes. In general, the goals are to minimize the harsh contrast in the landscape, to conserve pleasing and significant natural systems, and to encourage architecture appropriate to this unique environment.

These guidelines shall form the basis and criteria for evaluation of plans and specifications submitted for review and approval to the Architectural Review Committee. They are not established to stifle imaginative or creative desires of the future residents, but rather to ensure that disciplines will be in effect which will cause the development of the community to grow in an integrated and continuous manner. Accordingly, these Design Guidelines are subject to amendment from time to time by the Architectural Review Committee and the HOA Board of Directors.

It is strongly recommended that all persons proposing any construction subject to review under these Design Guidelines seek the assistance of qualified design professionals, with skills appropriate to the task at hand, such as an architect, landscape architect, soils engineer, structural engineer, civil engineer, etc.

II. DEFINITIONS

Terms referenced in these standards shall have the same meaning ascribed to them in the Declaration, unless a different definition is provided hereunder.

Association - A non-profit corporation formed under Wild Pointe Ranch Homeowners Association, Inc., a Colorado non-profit corporation, whose Articles of Incorporation are filed with the Colorado Secretary of State. It is the homeowners association for Wild Pointe Ranch.

Building Envelope The area within each Lot where the primary structure and any accessory uses and improvements must be located as approved by the Committee. No construction of any kind may occur outside of the Building Envelope, with the exception of Septic Leach Fields, Fencing as detailed herein, Trails and appurtenances related to the common trail areas.

Committee - The Architectural Review Committee established pursuant to the Declaration.

Declaration – The Master Declaration Creating Covenants, Conditions, Restrictions and Easements for Wild Pointe Ranch.

Developer – Wild Pointe Partners, Inc., a Colorado Corporation.

Development Guide Agreement - The Development Guide Agreement, as amended from time to time, approved by the Elbert County Board of Commissioners pursuant to Wild Pointe Final Plat, and recorded in the Office of the Clerk and Recorder of Elbert County, Colorado and governs the use and development of Wild Pointe Ranch.

Final Finished Overlot Grade - The present site grade of each lot.

Finished Overlot Grade - The site grade provided to the Unit Owner by the Developer.

Improvements - "Improvements" shall mean all buildings and structures, parking areas, loading areas, fences, walls, hedges, plantings, poles, driveways, ponds, lakes, recreational facilities, signs, changes in any exterior color or shape, excavation and all other site work including without limitation, grading, road construction, utility improvements, removal of trees or plantings, and any new exterior construction or exterior improvement which may not be included in the foregoing. "Improvement" does not include turf, shrub, or tree replacement of a magnitude which does not change exterior colors or exterior appearances. "Improvement" does include both the original improvement and all later changes and improvements.

Lot "Lot" shall mean those building lots designated on the Plat and shall have the same meaning as the term "Unit" which is defined in this Declaration.

Plat The Plat titled Wild Pointe Final Plat recorded July 3, 2003 in the office of the Clerk and Recorder of Elbert County, Colorado at Reception No. 436639, together with any additional plats of other portions of Wild Pointe Ranch.

Private Open Space The private open space areas of the Plat including those areas of each lot that are outside of the areas designated as the building envelope and the public open space easement on the plat. No improvements may be constructed in this area with the exception of Fencing as defined herein and Septic Systems.

Public Open Space Those Common Areas designated on the Plat that have been dedicated to the Elbert & Hwy 86 Metropolitan District or the Elizabeth Parks and Recreation District to be used by Association members, their lessees and guests, and the Public in accordance with the rules and regulations formulated by the Districts. These areas are intended for minimal development only and shall remain largely in their native state with the exception of the Recreational Facilities of The Elizabeth Parks and Recreation District. Development of Public Open Space may (but need not) include, community pavilions, parks, playing fields and associated facilities, pedestrian, equestrian and bicycle trails and ponds.

Public Open Space Easements - Those Common Areas designated on the Plat that have been dedicated to the Elbert & Hwy 86 Metropolitan District to be used by Association members, their lessees and guests, and the Public in accordance with rules and regulations formulated by the District. These areas are intended for development of a pedestrian/equestrian and bicycle trail system, and may (but need not include) other recreation facilities. Maintenance of the Public Open Space Easements will be undertaken by the District. No improvements or fences shall be constructed within the Public Open Space Easements without the prior written approval of the Architectural Review Committee. No vegetation may be removed, trimmed, cut, planted, mowed, or otherwise maintained within the Public Open Space Easements without the prior written approval of the District.

Standards - Those Design Guidelines, review procedures and construction regulations adopted and enforced by the Committee as set forth in this document and as amended from time to time by the Committee.

Unit - Any plot of land or "Lot" shown upon the Plat or any portion thereof, but together with all appurtenances and improvements now or hereafter thereon.

Unit Owner - The record Owner, whether one or more persons or entities, of fee simple title to any Unit, but excluding those having such interest merely as security for the performance of an obligation.

Wild Pointe Ranch - The residential portion of the property known as Wild Pointe according to the recorded plat(s) thereof in Elbert County, Colorado.

Refer to Elbert County Zoning Regulations, as amended, for additional definitions and regulations.

III. DESIGN REVIEW PROCESS

The process for establishing the Architectural Review Committee and defining the specific duties and powers conferred on it is described in Article XI in the Declaration. The Architectural Review Committee has approved these Design Guidelines for Wild Pointe Ranch.

The Architectural Review Committee reserves the right to revise these Design Guidelines as changing conditions and priorities dictate, in order to maintain maximum aesthetic benefits to the community while enhancing property values.

All construction that is to be undertaken in this community, whether new residential construction, subsequent exterior renovations, or site construction such as walks, driveways, drainage improvements, or landscape planting is subject to review under the Design Guidelines. After Final Plan approval through this process, the appropriate building permit(s) may be applied for, and when approved, construction begun.

All Unit Owners, builders, consultants, and any other designated representatives (hereinafter referred to as "Unit Owners"), shall comply with the following process, in order to gain approval from the Architectural Review Committee for any construction.

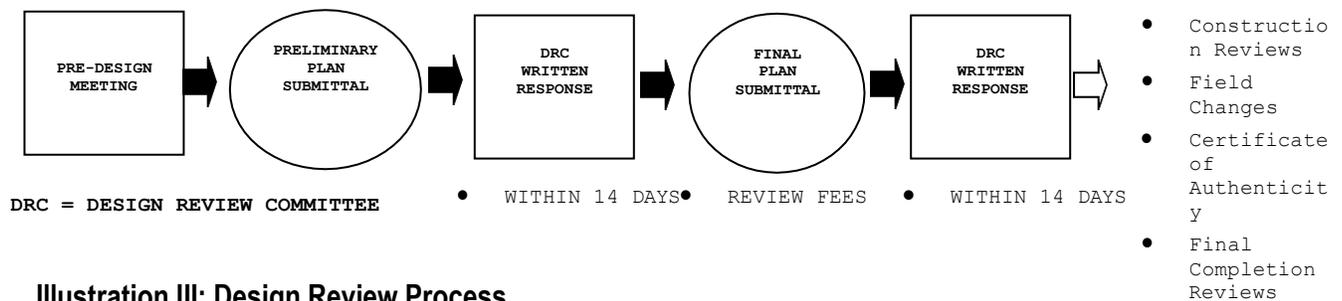


Illustration III: Design Review Process

A. Pre-Design Meeting

Prior to preparing preliminary plans for a proposed residence, it is required that the Owner and/or their designated representatives, meet with the Committee to discuss proposed plans, Committee concerns, and requirements or attributes which may be specific to an individual site. This informal review is to offer guidance prior to initiating preliminary design. Notes from the Pre-Design Meeting will be filed in the Committee office and will be available to the Owner.

Send inquiries to: Associa Colorado
 5225 North Academy Blvd
 Colorado Springs, CO 80918
 719.473-5000

LVialpando@AssociaColorado.com

B. Preliminary Plan Submittal

Following the Pre-Design Meeting, the Owner may develop preliminary architectural and site plans. They should meet the following requirements:

1. Preliminary Plans shall include the following:
 - a. Unit or Lot, Filing number and address with Owner's and Architect's or Designer's names listed on each sheet.
 - b. A professional survey of existing conditions, including roads, utilities, topography with a minimum two (2) foot contour interval, drainage ways, and other natural features. All legal restrictions, including rights-of-way, easements, property lines, and setbacks, shall also be included. All survey information with enough detail to determine surrounding conditions should extend to the property lines of the lot and beyond to include any rights-of-way, drive access easements directly adjacent to the lot, and adjacent lots. The Building Envelope must be indicated on the preliminary plans.
 - c. A preliminary site plan of all proposed improvements, including building location, north arrow, driveway and access points (please show the existing/proposed road edge), parking areas, existing and proposed grading at a minimum two (2) foot contour interval with appropriate spot elevations, proposed drainage facilities and structures, septic leach fields, top level of main floor, drainage features, and the Building Envelope at a scale of 1" = 20'. The site plan shall also include locations, elevations, square footages of other improvements, including but not limited to fencing, pools, patios, tennis courts, gazebos, and water features. A sketch of the improvements and proposed improvements on adjacent properties must also be included on all plans.
 - d. Roof and floor plans at a minimum scale of 1/8" = 1'. Roof plans must identify pitch, valleys, hips, overhangs, and materials.
 - e. Floor plans must include main structure and accessory structures, balconies, and decks.
 - f. Architectural elevations of all sides of the building at the same scale as the floor plans, indicating both existing and proposed grade lines, finish floor elevations, top of slab elevations and building height calculations.
 - g. Indication of all exterior materials and colors if available.

- e. All exterior elevations, at the same scale as the floor plans, indicating both existing and proposed grade lines, top of foundation elevations, finish floor elevations, top of slab elevations, and maximum roof height. Decks, rails, air conditioning evaporators and flues should be indicated. Building materials as they relate to the color board shall be noted on each elevation.
 - f. Building or wall sections and exterior details, including items such as chimneys, exterior stairs and decks, railings and supports.
 - g. Color Board -- samples of all finished exterior materials and colors. . A front elevation must be included Samples of colors will be submitted prior to construction. Cut sheets for exterior lighting must also be submitted. In addition, a schedule of samples, or specifications, of exterior materials and colors must be included on the Final Plans.
 - h. Landscape and irrigation plans (to be submitted by Unit Owner). See Landscape Design Review Process below for specific information. Landscape and irrigation plans must be approved by the Committee prior to construction.
2. Any adjustments in site staking shall be made at this time.

It is the responsibility of the unit owner to show that the building is constructed inside the building envelope in accordance with County and Plat requirements.

- 3. After preparing the Final Plans, the Unit Owner shall submit plans to the Architectural Review Committee.
- 4. The Architectural Review Committee will then review the plans and staking, and will provide a written response within 14 days after the submittal. Should the Final Plans be approved, the Unit Owner may apply for the appropriate building permit(s), and when approved, begin construction. In the event of a disapproval or approval with conditions, the re-submittal of Final Plans shall follow the Final Plan submittal procedure.

D. Review Fees

All submittals require a review fee payable upon submission.

Improvement	Applicable Fee
New Primary Construction	\$500.00
Outbuilding (barn, garage, shed)	\$350.00
Landscaping Design	\$200.00 One-time fee per homeowner
Trees, fence, play equipment	No fee

E. Construction Period Reviews and Requirements

1. The Committee may inspect all work in process and give notice of non-compliance. Absence of such inspection or notification during the construction period does not constitute either approval by the Committee of work in process or compliance with these Design Guidelines or the Declaration. Any Committee visits are in addition to standard inspections required by other jurisdictions throughout the construction process.
2. Construction must begin within 120 days from the date of Architectural Review Committee final approval. Construction of the primary structure must be completed within twelve (12) months from commencement of construction.

An electronic notice of commencement is required at the Z&R Property Management via email to office@zandrmgmt.com .

3. **ALL METROPOLITAN DISTRICT AND UTILITY FEES MUST BE PAID IN FULL PRIOR TO COMMENCEMENT OF CONSTRUCTION.**

F. Field Changes

The only changes that will be of concern to the Architectural Review Committee are those that affect or change the exterior elevations, building height, fencing or site plan as approved by the Committee.

Should any changes of color, material or exterior elevation or fencing be necessary, it will be the responsibility of the builder to contact a Committee member, explain the nature of the change and get a determination if an official Committee review with drawings will be required. At that point in time, direction can be given as to the next step in the process regarding such necessary field changes.

G. Project Completion Review

Upon completion of any residence or other improvements for which Final approval was given by the Committee, the Unit Owner shall give written notice of completion to the Committee. Within such reasonable time as the Committee may determine, but in no case exceeding ten days from receipt of such written notice of completion from the Unit Owner, or his duly authorized representative, it may inspect the improvements. If it is found that such work was not done in substantial compliance with the approved plans, it shall notify the Unit Owner in writing of such non-compliance within such period specifying in reasonable detail the particulars of non-compliance, and shall require the Unit Owner to remedy the same.

H. Other Conditions

Approval of plans by the Architectural Review Committee shall not be deemed to constitute compliance with the requirements of any local building, zoning, safety, health or fire codes, and it shall be the responsibility of the Unit Owner to assure such compliance. Nor shall approval waive any requirements on the part of the Unit Owner or his representative to comply with setbacks, height restrictions, or other requirements unless such waiver or variance is specifically requested at the time of submittal and provided that the waiver or variance may properly be granted by the Architectural Review Committee and local jurisdictions, where applicable.

The Declaration shall remain in force as the legal restrictions governing all construction.

Neither the Committee nor its assigns shall be liable in damages to anyone submitting plans to them for approval, or to any Unit Owner by reason of mistake in judgment, negligence, or nonfeasance arising out of, or in connection with, the approval or disapproval or failure to approve any plans or specifications. Every Unit Owner or other person who submits plans to the Committee for approval agrees, by submission of such plans and specifications, that they will not bring action or suit against the Association, Committee or its individual members, or the Developer to recover damages.

Final approval of plans is valid for fifteen (15) months. A submittal of a different dwelling on the same lot requires the review process begin with the Pre-design procedure and a submittal fee of \$500.00

The Committee reserves the right, upon request of a Unit Owner, to grant waivers or variances from any of the procedures or Design Guidelines set forth herein at its discretion. Any waiver or variance granted shall be considered unique and will not set any precedent for future decisions.

I. Supporting Documents

Unit Owners should thoroughly review all portions of the following documents applicable to their property:

1. Development Guide Agreement for Wild Pointe Ranch.
2. Master Declaration Creating Covenants, Conditions, Restrictions and Easements for Wild Pointe Ranch.
3. Bylaws, if any.
4. Final Plat for the specific Filing (No. 1-A or No. 1-B).
5. Design Guidelines for Wild Pointe Ranch.
6. Wild Pointe Ranch Drainage Report.
7. Wild Pointe Ranch Rules and Regulations, if any.

8. Elbert County Zoning Regulations, as amended.

IV. SITE DEVELOPMENT STANDARDS

A. Site Planning

Each building site in this community has its own specific qualities and characteristics. The Architectural Review Committee will be looking very critically at site plans to determine whether existing features are respected and sensitively utilized. A preference will be expressed for plans which minimize disturbance of existing terrain, vegetation, and drainage patterns, while taking advantage of short and long views and maximizing solar exposure. Respect for adjacent development is also essential; coordination of elements such as building massing, material compatibility, sun/shade patterns, indoor/outdoor relationships, drainage, screening, views, and access will help make for better neighbors. The potential for threatened or endangered species may exist in riparian areas located outside of specific building envelopes, particularly near Gold Creek and its tributaries. Biological value of those areas should be maintained and questions or concerns should be addressed to the Architectural Review Committee.

PROPERTY ATTRIBUTES TO CONSIDER

- EXISTING VEGETATION
- SLOPES
- DRAINAGE
- ACCESS
- SETBACKS
- VIEWS AWAY FROM THE SITE
- VIEWS TO THE SITE
- ADJACENT USES / CHARACTER
- WETLAND AREAS
- BUILDING ORIENTATION
- SOILS
- BUILDING ZONE RESTRICTIONS
- OTHER LOT CONTROLS - UTILITIES, EASEMENTS, ETC.

Illustration IV A: Site Planning Considerations

B. General Recommendations for Site Planning and Maintenance

1. No removal of trees will be allowed without Committee approval.
2. Choose to site houses away from existing trees rather than in close proximity to them for fire safety measures.
3. Grazing of livestock, other than as specified in these Design Guidelines on the property is strictly prohibited.
4. Owners should consider grass and other combustible materials when mowing. Limit mowing of naturally occurring grass as much as possible, except areas newly seeded in order owners are required to control the spread of weeds.
5. Minimize the installation of mowed bluegrass lawn -- emphasize blending into the natural landscape rather than dominating and contrasting with it.
6. Aggressively prevent the occurrence and spread of knapweed or other noxious weeds on each property according to the Wild Pointe Weed Management Plan

C. Siting

When considering a plan's suitability to a particular site, the Architectural Review Committee will review whether the building has been placed with sensitivity toward the individual assets of the specific site. Unit Owners shall consider the qualities of the site, especially the visual and climatic exposure created by the combination of existing slopes, vegetation, and orientation. Driveway approaches, screening, and landscaping are vitally connected to proper building siting. Projects that require substantial change in the finished grade to accommodate a specific floor plan will be closely reviewed by the Committee. Overlot grading is not permitted in the Wild Pointe Ranch residential areas.

Plan submittals shall make use of existing vegetation and topographic features to enhance the design of the building and site improvements. The site should become an extension of the home, including outdoor living spaces, so that Unit Owners may enjoy the Colorado climate. The design of such spaces should be coordinated with the building construction and design, extending similar material where feasible. Paving material should be used that is compatible in color and texture to the particular residence.

Treatment of these areas may be accomplished with fences and screens per the descriptions of the following sections. These materials must be harmonious and compatible with the main structure(s).

Unit Owners shall consider privacy and the views of adjacent lots.

D. Setbacks/Building Zone Restrictions

The principal residence may be located anywhere within the specifically designated Building Envelope of each lot, subject to approval by the Committee, in its discretion. Once the primary dwelling structure has been physically located on the lot, the accessory structures for that lot must be located within the building envelope. Placement of accessory structures behind and/or beside the principal residence, with the residence located as the closest structure to the public road, is strongly encouraged by the Committee. Septic fields may be located outside the Building Envelope if necessary, but not within the Public Open Space Easement areas.

The distance between two primary residences on separate lots may be increased (within the confines of the platted Building Envelope) at the sole discretion of the Committee depending on individual and neighboring lot attributes.

1. Setback and Height Standards

a. Setbacks:

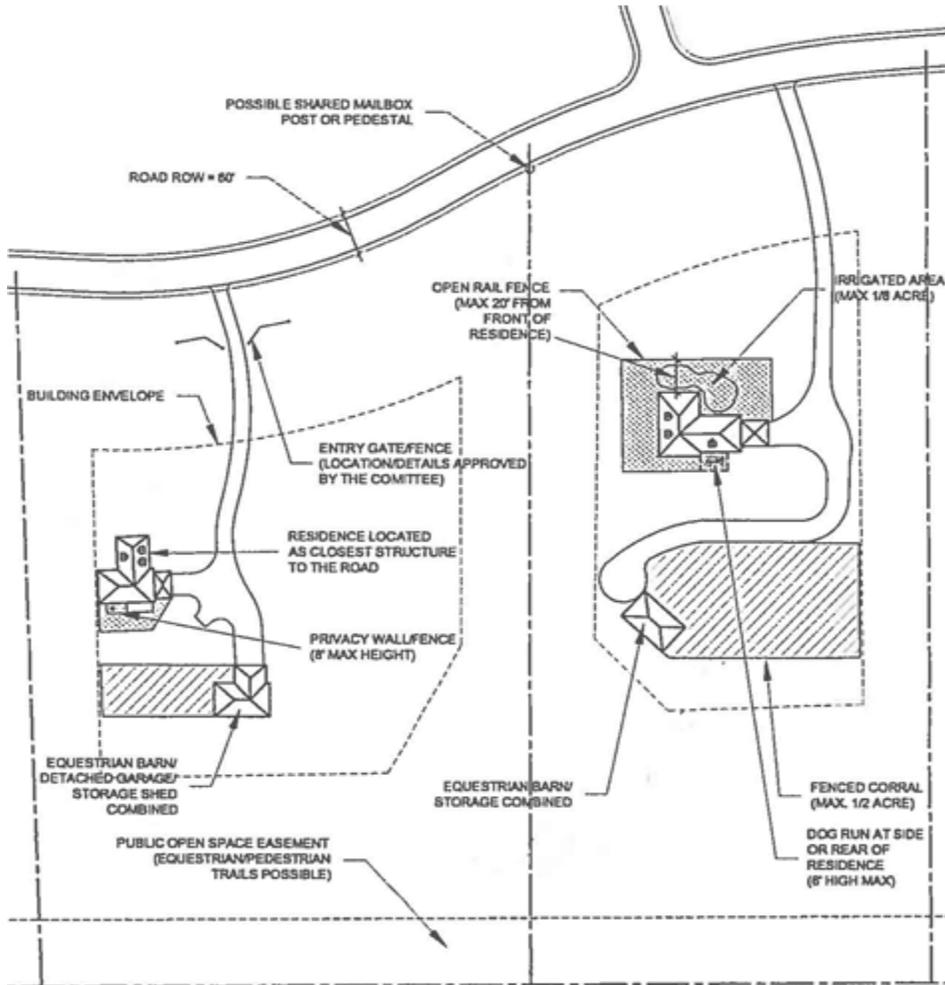
Street setbacks: 90 feet (minimum)

Side/rear* setback: 25 feet (minimum)

*"Rear" setbacks are measured from the lot line.

b. Building height: 35 feet** (maximum)

** Height shall be measured from the average of the two highest corners of the finished floor elevation of the structure to the highest roof-line and shall exclude the walk-out portion of the structure.



2. Angle of Deviation from the Street for Primary Residence

The primary residence shall be sited on the lot to have the front side of the building (typically the side on which the front door is placed) be a deviation of no more than 10 degrees from a line perpendicular from the center of the road through the center of the primary residence.

Illustration IV D: Setbacks and Building Restrictions

E. Building Coverage

The maximum number of accessory buildings not contiguous to the primary structure is three per lot.

Each of the residences will have improved living floor area, exclusive of basements, garages, porches, patios and accessory structures, of not less than 2800 square feet in the case of a two-story above grade home, and not less than 2000 square feet in the case of a ranch style home, or as amended from time to time by the Architectural Review Committee.

F. Grading and Drainage Standards

Builders shall:

- **Conform to the requirements of the Elbert County approved Master Drainage Plan for Wild Pointe Ranch.**
- **Not significantly alter existing drainage patterns.**

Standards for grading and drainage are general, minimum standards only and shall not constitute a representation, warranty or agreement by the Developer, the Architectural Review Committee or the Association that adherence to such minimum standards in designing or constructing a residence or installing landscaping shall result in a residence or landscaping which is free from any defects. **Unit Owners are responsible for having a soils test, soils engineering report prepared by a registered professional engineer, and other necessary inspections completed to assure adequate design for construction of residences, installation of landscaping, and construction of an individual septic disposal system.** Neither the Developer, the Architectural Review Committee nor the Association shall be liable for any damages resulting from the design or construction of any home, landscaping or septic system which has been approved by the Committee pursuant to these guidelines or for any damages resulting from an Unit Owner's failure to meet or exceed the minimum Design Guidelines set forth in these guidelines when necessary for the proper design and completion of residences, landscaping, or septic system.

General drainage ways are shown in the Wild Pointe Drainage Report, and must be strictly adhered to. Any modifications must specifically be approved by the Committee.

1. Grading

All site improvements should be designed to minimize the extent of grading required. Techniques for doing this include "stepping" buildings down slopes, designing dwellings with walkout lower levels, providing access across slopes instead of down them, and using low retaining walls where necessary. Where grading is necessary, cut and fill slopes should be kept to a maximum of 3 horizontal to 1 vertical. All graded slopes should be "rolled" back into existing slopes, so that no sharp contrast exists between existing and disturbed slopes. No final grading shall extend beyond the building envelope.

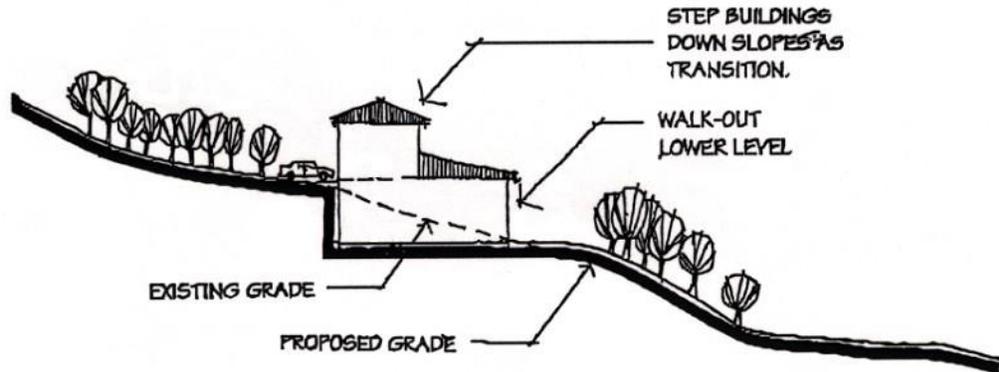


Illustration IV F1: Grading

Final Finished Grades for the two front corners of the residence shall not increase by more than 24 inches from the natural Finished Grade unless by special approval of the Architectural Review Committee due to site conditions. In addition, excessive earth fills or significant alteration of more than one of the corners at the rear of the structure will not be encouraged. No overlot grading shall be allowed on any residential lot in Wild Pointe Ranch.

2. Drainage

Upon completion of any residence or associated structure the lot shall be final graded in a manner so as to insure positive drainage away from the building foundation. Drainage swales shall be designed to have a minimum grade of 2 1/2 percent. As a general rule, swales shall be no closer than 5 feet from any foundation wall. Minimum slopes away from the foundation should be 5 percent for the first 5 feet or in accordance with the Unit Owner's soils engineering report, whichever is more restrictive. Coordination of grading between adjacent sites is strongly encouraged with particular reference to attaining a single swale along property lines.

At completion of construction an updated improvement survey must be submitted to the Committee documenting compliance with these Design Guidelines.

In addition to minimizing the extent of site grading required, disruption to existing drainage courses and ridges should also be limited. Where disruption or realignment must occur,

reconstruction should occur in a naturalized manner allowing water to percolate instead of concentrate while still allowing water to flow in a non-destructive course. If culverts or structural channels are required, these elements should be identified on the Preliminary and Final Site Plans so that impact to the existing environment is minimized. Driveway and roadway culverts, where necessary, shall be designed and constructed to meet Elbert County Road and Bridge Department requirements.

Historic flows on or across the lot must be accommodated. Within the lot, adjustments can be made as described above. However, some properties may contain parcels of land that have been improved by the Developer or by one of the Districts that must function as drainage facilities for the overall project, and which must be incorporated into the drainage design for the specific lot.

The design objective for drainage is to provide safe and efficient drainage blending into the community overall design.

3. Compliance

All drainage plans must comply with the Wild Pointe Master Drainage Plan, Elbert County, State of Colorado and national laws and regulations.

G. Erosion Control

During and subsequent to all site construction, techniques for controlling erosion within the site to ensure protection of adjacent properties from erosion shall be mandatory and conform with Elbert County requirements and the Wild Pointe Development Guide Agreement. Techniques include the use of sedimentation basins, filtration materials such as straw bales or permeable geotextiles, and slope stabilization fabrics or tackifiers.

H. Driveways and Parking

Access to each residence shall be via the private roads as shown on the Plat. The driveway from the access road to the residence shall be situated to minimize earthwork, without overly emphasizing the parking area or garage. Where driveways join the road, they shall have a paved apron in a width as required by County regulations. Circular drives are acceptable to the Committee if appropriate to the site and architectural design. Parking areas shall be located out of major sightlines and shall be screened with landscape earth forms and planting. **Where possible, garage doors and openings will be oriented away from the road.**

There shall be a minimum of three fully enclosed garage spaces for each residence unless otherwise approved by the Architectural Review Committee. In addition, a minimum of two off-street parking spaces shall be incorporated into the driveway design.

Driveways should intersect the road at no less than 60° for maximum visibility and should not exceed 8% in slope, except where use of short pitches (up to 10%) may lessen site impacts.

Garage doors, openings, and drive aprons should be designed to minimize their visibility from roads and other residences. Either proper orientation, screening or a combination of both will accommodate this design consideration. Driveways shall include a concrete apron measuring at least 18 linear feet in length measured from the garage entrance, and at least as wide as the garage.

I. Retaining Walls

Retaining walls should be as low as possible and integrated into the entire landscape plan. The use of terracing is encouraged in order to maintain a maximum height of 4' wherever possible. Any walls exceeding four feet must be specifically approved by the Committee and designed by a registered professional engineer. Walls should complement the natural surroundings and materials must be those of the building structure, stone or a Committee approved block. Flagstone, moss rock, rhyolite, sandstone, or compatible stucco are encouraged.

J. Fences and Enclosures

Excessive Fencing is discouraged due to its visually dominant impact within the community. However, when fencing is proposed on a lot the Committee must approve the design and location of all fencing. These are standards to follow when designing and locating fences proposed to the Committee.

In order to further define the character of Wild Pointe Ranch, individual units, and outdoor use areas, the following fencing standards have been developed.

1. Fencing (General)

Fencing shall be appropriately integrated into the site and its improvements. Compatibility and integration with the overall architecture of the dwelling and the character of the site will also be considered when reviewing the fencing plans for approval.

- Fencing will have a 30 feet (minimum) setback from roadways.
- Snow fences may be erected between the periods of Nov 1- April 30. Approved snow fence materials are wood lath with metal t-posts. When removed they must be stored in an enclosed area.

2. Project Fencing

The HOA may elect to install fencing along the entry corridor and various other portions of Wild Pointe Ranch Common Areas including Public Open Space and Public Open Space Easements. If the HOA makes such election it shall be responsible for such installation.

3. Open Rail Fencing

Only the Wild Pointe Western Dowel (preferred) or Open-Rail Fence (with or without wire mesh) may be used for fencing Paddock Areas in the Wild Pointe residential lots. This fence must be located so that Public Open Space and other easements are not encroached upon. All such fences shall have an appearance as described in the Open-Rail Fence detail and must be constructed and maintained by the Unit Owner. The location of any proposed fence must be submitted per the requirements outlined in Section R (5) – “Paddock Areas” below and must be approved by the Committee in writing prior to the start of construction. A separate Design Review Fee will not be required for review of fencing plans by the Committee.

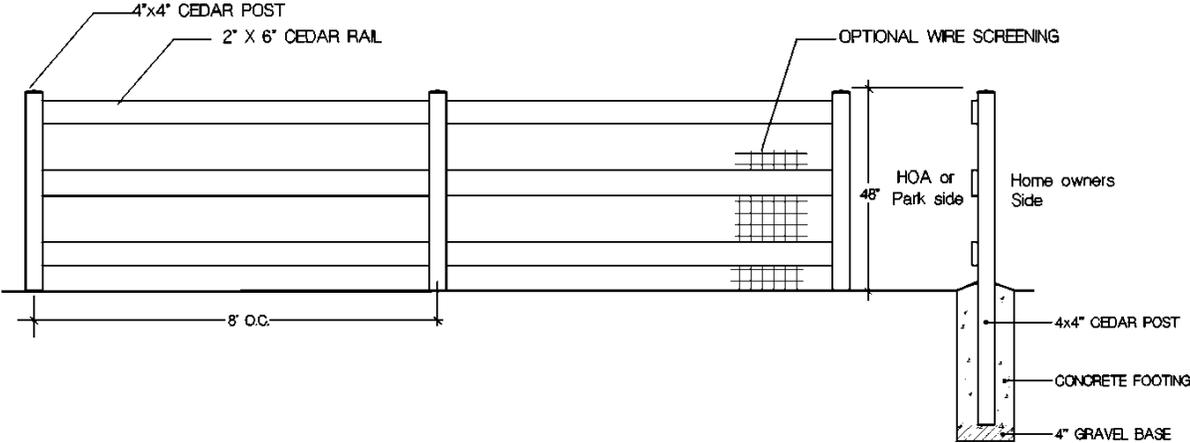


Illustration IV J3: Open Rail Fence

4. Solid Fencing / Privacy Screens

Privacy screens are only to be utilized in screening private areas including decks, patios, pools, hot tubs, etc. These areas may be fully enclosed, however screening cannot exceed 8' in height. Privacy screens must incorporate materials and finishes taken from the building palette or that are compatible with the building materials palette. Screening of these areas may also be accomplished by using earthen berm and / or vegetative screens. The maximum linear footage of solid fencing that is visible from the road shall be approved by the Committee.

5. Swimming Pool Enclosure

Solid fences will not be allowed. Privacy screens may be incorporated into the pool enclosure. Architectural detailed wrought iron with columns to match the building material with a minimum spacing of 20 feet at the enclosure corners will be allowed. Substantial vertical screening will be required as part of a pool enclosure. An appropriate mixture of 7 gallon plant size material and trees will be required with sensitivity to screening as well as protection of view corridors.

All pool equipment is encouraged to be below grade or completely screened and incorporated into the overall landscape plan or in the residence. Any cabana or "out buildings" must be specifically approved by the committee. No "above ground" pools will be allowed.

6. Tennis Court Enclosure

Tennis courts may be allowed, where appropriate, and must be enclosed with vinyl clad chain-link fencing. Vinyl clad chain-link colors will be black, dark green or dark brown and all posts, support rails, gates and associated hardware shall be vinyl clad or painted to match. Tennis court fence height shall not exceed 12 feet on end enclosures, and 4 feet on side fencing. No tennis court lighting will be allowed. Recessed or sunken courts are encouraged.

7. Dog Runs

Dog runs shall be restricted to the side and / or rear of the building envelope. All enclosures must not exceed 6' in height and must be adequately screened from adjoining residences and roads with landscape buffers, hedges, berms, etc. Size of dog runs and construction materials must be approved by the Committee.

8. Corrals/Equestrian Fences

Corral fencing may be used to enclose a maximum of 1/2 acre within the Building Envelope. Use of the Wild Pointe Corral Fence is encouraged by the Committee. Fencing must be constructed of material that is compatible with architectural materials, other site fencing or other improvements, and must use natural materials or subdued / natural-colored materials. Location, materials and height No greater than 6 feet of proposed fencing must be approved by the Committee prior to construction.

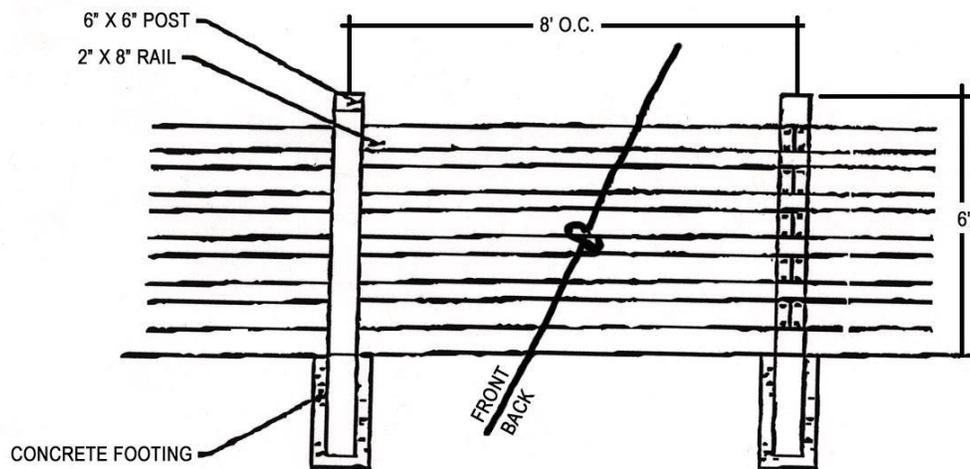


Illustration IV J8: Corral Fence

K. Lighting

Outdoor lighting in Wild Pointe Ranch shall be minimized. Except for entry feature lighting installed by the developer to identify the project, all lighting shall be downcast. Dusk to dawn lighting shall not be permitted except for lights identifying specific addresses. Full cut-off light fixtures are required for all exterior light fixtures. Fixtures, used for illumination of driveways, walks, address signage and general landscape purposes, shall be compatible with the architecture of the structure(s) or other site improvements. One standard address light shall be permitted in the road corridor (may be activated by electric photocells). The maximum height of light fixtures located in the residential lots is 15 feet. Fixture wattage, quantity and locations must be approved by the Committee prior to installation. The Committee reserves the right to require modification of, or prohibit any lighting it deems a nuisance to adjacent properties

L. Signage

No permanent signs shall be attached or fastened to any fences or natural features including existing trees. In addition, no permitted sign shall exceed a height of four feet from grade.

Permitted signs are limited to the following:

1. Signs required by legal proceedings.
2. Standard residential construction address signs with a four by four post incorporating the white plastic inspection box. These signs must be approved by the Architectural Review Committee prior to erection. Such signs shall not exceed a total face area of three square feet, unless by special approval of the Architectural Review Committee.

3. A single sign to advertise For Sale, the building, and the lot address will be provided in standard form by the Developer.
4. Temporary signs approved by the Architectural Review Committee for a period of six months shall be allowed.

No other signs will be allowed without prior written consent of the Architectural Review Committee.

M. Trash Receptacles

All areas used for storage of solid waste shall be screened from off-site views, using materials and forms complementary to the main structure(s) and must be approved by the Architectural Review Committee.

All trash receptacles must be stored in closed containers to discourage wildlife nuisances.

Trash may only be placed for pick-up on designated pick-up days.

N. Utilities

All utilities within the community must be located underground -- up to all buildings. No overhead utilities shall be allowed.

Utility equipment must be screened from view or integrated into other improvements. All utility equipment locations, materials and aesthetics must be approved by the Committee.

Construction of utilities shall be carefully coordinated with existing site conditions so that minimal disturbance occurs. All utility construction, including storage of excavated and backfill materials, shall respect all neighboring lots and boundaries of areas to be preserved.

O. The Following Require Committee Approval:

1. Residential Markings.

The Elizabeth Fire District requires each residence to be marked at the entrance to the driveway with an approved address marker. This address marker shall be fastened to a post, pedestal or column, which shall be constructed of materials that are compatible with the residence and/or other site improvements. The address number must be clearly visible for emergency vehicles. It is not required that the address pedestal be lighted.

2. Solariums/Greenhouses.

Greenhouses must be architecturally compatible with and specifically include the design and material elements of the residence.

3. Awnings, shutters, screens, and other similar exterior elements. .

4. Children's Play Equipment.

Appropriate screening, colors, materials, and integration into the overall landscape plan will be required. The location of this equipment shall be approved by the Architectural Review Committee prior to assembly or construction.

5. Decks.

Columns supporting decks are required to be constructed primarily from the building materials of the home. Railing design must be included with architectural submittals. All deck columns must have a minimum dimension of 5 1/2" on each side.

6. Dog houses must be located in the back yard or back area of the lot.

7. Antennas.

All TV, radio, communication antennae, and aerials shall be screened from view. All antennas shall be reviewed and approved by the Architectural Review Committee.

8. Satellite Dishes.

Unless otherwise approved, satellite dishes must not exceed 3 feet in size and must be compatible with the site improvements. Adequate architecturally compatible materials, paint, or evergreen screening will be required adjacent to all satellite dishes to minimize visibility from roads and adjacent homes.

9. Accessory Buildings.

The maximum number of accessory buildings not contiguous to the primary structure is three (3) per lot (i.e. equestrian barn, detached garage, storage shed, or combined structure, etc.). It is important that the massing and scale, as well as forms, materials, and other detailing shall be well coordinated with the main structure(s) on the site. Locations and construction details of all accessory structures must be approved by the Architectural Review Committee prior to construction.

10. Barns.

Barns are allowed in the Building Envelope. All barns shall be designed and located in a manner that is compatible with the architectural character of the dwelling and accessory structures as well as other site features. The Architectural Review Committee shall strictly review plans for barns in conjunction with other site improvements prior to approval.

11. Solar.

Solar heating equipment must blend into the overall architecture and roof design features, and must be raked at the same pitch as the roof. Locations other than roof structures should be considered by the applicant such as: earth berms, swale bowls, and hillsides.

12. Chicken Enclosures.

Written permission from the Architectural Review Committee must be requested and obtained by the Lot owner before housing chickens on any Lot. The chickens must be housed in a dedicated enclosure that shall be approved by the Architectural Review Committee before construction and shall not be 'free range'. Recognition of predominant wind directions shall be taken into consideration when locating enclosures and chicken houses. Chicken enclosures shall be designed and located in a manner that is generally compatible with existing structures on the lot including construction materials, fencing and colors. Where possible, lot owners are encouraged to locate chicken enclosures adjacent to or in close proximity to barns.

13. Swimming Pools.

The Unit Owner should be advised to seek guidance from a registered professional engineer, who specializes in soils and/or structures, and is familiar with Colorado climate and soil conditions.

- a. The outfall of any surface drains planned by the pool contractor or engineer must be identified in any plan submitted to the Committee. The location must not encourage ice or fungus problems. Dispersal of the water should be several feet back of the property line.
- b. A revised grading plan is needed for the Unit Owner and/or Committee to determine the following:
 - The possible need for new or additional water detention or retention.
 - The relationship to the house and adjacent houses.
 - Drainage changes - the location must not direct additional water onto adjacent sites or cause ponding near the house.
 - Possible need for stairs in the rear yard.

- Compliance with the requirements of the primary building zone and Private Open Space Preservation Easements.
 - The location of the proposed fence enclosure. See above for standards applicable to swimming pool enclosures.
- c. The pool design must show the following:
- Whether the pool is above or below grade.
 - Whether the pool is structural or pre-fabricated.
 - The size and material of related decking.
 - Any area lighting to be added to the yard.
 - A detailed drawing of any gazebo or other sun shelter. A decision must be made on whether or not a pool house which features a bathroom, changing area, etc., is approvable. If a pool house can be approved, its materials and colors should be compatible with the house.
 - The location and proposed screening of all circulation and heating equipment.
 - The configuration of the pool to be constructed.
1. Cool weather covers, which allow all-season swimming, must be approved by the Committee. If such covers are proposed by the applicant, a manufacturer's cut sheet should be submitted to clearly present the size and color

14. Trailers

Licensed horse trailers and/or utility trailers having a total overall length including tongue and attachments of twenty (20) feet or less may be parked outside on a Residential Lot only if they are parked discretely alongside the house or an out building on the Residential Lot such that to the extent possible and practicable the house or building screens the trailer from the view of the adjacent properties and public roads. Not more than two trailers may be parked outside at any one time. Any trailers having a total overall length including tongue and attachments of more than 20 feet long and any commercial and recreational vehicles shall not be parked or stored outside on a Residential Lot but may be stored indoors on a Residential Lot in an enclosure approved by the Architectural Review Committee. All trailers that meet the above stated criteria to be parked outside on a Residential Lot in accordance with this Rule must have a current license plate that shows current license registration with the

State of Colorado (or such other State where the trailer is properly and legally licensed and registered). In addition the trailer must be registered with the Board of Directors of the Association by the Owner of the Residential Lot providing the Board with: (1) proof of current license plate and registration for the trailer; (2) a physical description of the trailer including as applicable, make, model, year of manufacture, size (length) and color; and (3) a site plan or picture showing the proposed parking location of the trailer(s). The trailer may not be stored outside on the Residential Lot unless and until the Board has approved the information provided to it as called for above. To the extent there are any issues regarding the length of a trailer, the Board's determination of length shall control.

P. Fire Protection

Elbert County requirements must be followed. The state of Colorado recommends grass be cut to a height of six inches to reduce fire hazards.

Q. Hillside and Slope Development

With regard to hillside and slope development, the Committee's goals are to:

1. Preserve the most visually significant slope banks and ridgelines in their natural state.
2. Encourage the location, design, and development of building sites that provide maximum safety and human enjoyment, while adapting the development to the natural terrain.
3. Minimize the effects of grading and ensure that the natural character of the hillside is retained. Also, minimize the scarring and erosion effects of cutting, filling and other development activities on hillsides.
4. Preserve visually significant rock outcroppings, native vegetation, natural hydrology and areas of historical or visual significance.
5. Encourage development that is designed to include the natural landscape as a major part of the site, thereby achieving a feeling of continuity throughout the project area.
6. Preserve views of significant visual features as viewed both within the hillside community, as well as outside the hillside community.
7. Prohibit activities and uses which would result in the degradation of fragile soils and steep slopes. Too often land purchasers are uninformed of the concerns associated with living adjacent to wildlife. Prospective land purchasers should refer to the Wildlife Considerations located in the Appendix outlining the types of interaction that may occur within the Wild Pointe Ranch community

R. Domestic Animal Lot Development

With regard to Domestic Animal lot development, the following standards should be followed:

1. Animals

No more than two (2) horses, mules or llamas in the aggregate shall be allowed per lot. Other than customary pets or approved chickens no other animals shall be permitted on any lot within Wild Pointe.

2. Barns

One barn structure shall be allowed within each Building Envelope. All horses shall have a shelter containing a minimum of 144 square feet, a roof and a minimum of three enclosed sides per animal. All barns shall be designed and located in a manner that is compatible with the architectural character of the residential dwelling and other site features. Barns must be constructed of the same or similar materials, application, and colors of the residential dwelling. Metal roofs will be generally be allowed, but metal siding will not. An exception to these materials may be made concerning the outside walls that are directly exposed to animals, which may be covered in baked enamel steel siding of similar color as the rest of the structure.

3. Feed and Bedding

Feed and bedding must be stored inside of the barn structure. Feeding areas must be kept clean and orderly.

4. Corrals

Two (2) corrals shall be allowed per Building Envelope. Total corral space shall not exceed ½ acre (21,780) square feet (example - two 104' x 104' corrals). Corrals shall be constructed of materials as designated in section J8. Open rail shall be constructed of materials as designated in section J3 above. Maximum height of corral fencing shall be five (5) feet.

5. Paddock Areas

Paddock Areas encompassing areas both inside and outside the building envelope may be constructed using the open rail fence materials as designated in section J3 above. Any such fencing plans must be submitted to the Committee for review and approval before construction begins and shall include a survey prepared by a licensed surveyor that clearly shows the location of the proposed fence, the home on the lot, and any barns or outbuildings existing or proposed, as well as the Building Envelope, driveways, Corrals, and any other improvements either currently existing or proposed. In addition, the locations of any easements and Public Open Space delineations as defined herein shall also be shown on the survey if they are located on or adjacent to the Lot. The fencing plan

shall not encroach on any of these areas. A licensed surveyor must stake the location of the fence before construction can begin. The Committee reserves the right to cause the removal of any fences that are not constructed in the manner described above and that are found to encroach on any easements or Public Open Space or any adjacent lots.

6. Insect and Odor Control

Aggressive measures must be taken by the Unit Owner to minimize flies and noxious odors. Manure and soiled bedding must be removed from barns and corrals daily and composted or stored in an enclosed area and removed from the property to an appropriate disposal facility periodically.

Noxious odors shall be mitigated by the Unit Owner on a continual basis. Noxious odors may be caused by poor drainage, standing water or manure left in corrals and barns.

Recognition of predominant wind directions shall be taken into consideration when locating barns and corrals.

7. Grazing

No grazing of domestic animals shall be allowed on any portion of a lot, except in properly approved and constructed Paddock Areas and in a manner that does not cause overgrazing. All animals shall be on feed and the vegetation in the Paddock Areas shall not be the main source of food for the animals. The Committee shall enforce overgrazing standards to their discretion and may cause horses or other animals to be removed if a lot becomes overgrazed. If Paddock Areas are constructed per these guidelines, domestic animals shall be allowed to graze for limited periods of time in these areas, but the Committee will strictly enforce any overgrazing issues that may arise as a result of such grazing, including causing the removal of such animals or requiring a deposit from the Unit Owner as described in Section R (1) above.

8. Animal Waste Disposal

It is required that animal waste be removed from the lot on at least a regular basis. Such waste should be regularly removed from the corral areas and piled in an area that is adequately screened as provided in these Design Guidelines and not visible from roads or other houses. The Committee may enforce this provision through requiring Unit Owners with animals to utilize a waste removal service contracted for by the Committee at its discretion.

9. Equestrian Trails

A trail network will exist throughout the community within many of the Private Open Space Easement areas that accommodates both pedestrians, equestrian riders, and bicycles. Homeowners may not block access to these trails. All equestrian traffic must stay on the

marked trails at all times, unless riding on their own property. Bicyclists, and pedestrians must yield to equestrian riders and Bicyclists must yield to pedestrians.

10. Domestic Chickens

Written permission from the Architectural Review Committee must be requested and obtained by the Lot owner before housing chickens on any Lot. The chickens must be housed in a dedicated enclosure as described in Section O. 12 above and shall be approved by the Architectural Review Committee before construction. The chickens shall not be 'free range' and must be on feed and the vegetation in any enclosure area shall not be the main source of food for them. Roosters are not allowed due to noise and nuisance issues. The chickens' waste shall be regularly removed and properly disposed of. Adequate measures must be taken by the Lot owner to minimize flies and noxious odors. Recognition of predominant wind directions shall be taken into consideration when locating enclosures and chicken houses. The chicken enclosure shall be maintained in a neat and orderly fashion. The number of chickens allowed on a lot shall not be greater than the number reasonably required to feed a single family and under no circumstances will chickens be kept for commercial purposes. The Architectural Review Committee reserves the right to force reduction in the number of chickens or require complete removal of the chickens and/or any structure associated with them if any of these guidelines are violated.

V. ARCHITECTURAL STANDARDS

A. Intent

These Design Guidelines have been developed as general goals and concepts to allow individual expression and enhancement within the context of the general rural character of Elbert County and to promote a visually cohesive community. It is the duty of the Architectural Review Committee to consider submittals within this context, and to encourage overall quality through well conceived and balanced detailing. Creative solutions and quality design are expected of all submittals to the Architectural Review Committee. Accordingly, it is strongly suggested that the services of competent design professionals be secured.

It is anticipated that each home constructed in Wild Pointe Ranch will express a site specific design assembled to accentuate the individual character of each lot. These characteristics shall be discussed during the required pre-design meetings as well as possible solutions to any site difficulties that may be encountered.

B. Overall Design

Strong emphasis shall be given to the overall quality of the design, the natural open quality of the community created by the large lots, landscaping and control of fencing will provide view opportunities to all sides of a structure, requiring the need for continuity of materials and detailing from front to rear.

In reviewing the forms of a proposed building, careful scrutiny will be given to the massing, proportions, and overall scale of the building in relation to the site. The Committee will encourage designs that achieve a delicate balance between distinctive form and subtle impact on the immediate environment.

Therefore, wings, walkout lower levels, courtyards, stepped walls, integrated decks with well designed and proportioned railings, and covered entries shall be developed to achieve well balanced massing. An unbroken "three-story look" will be reviewed with disfavor by the Committee. Window and door punctuation, along with specific surface detailing, will be carefully reviewed by the Architectural Review Committee; their overall scale and organization can have a substantial impact on the aesthetics of any home.

C. Exterior Utility Equipment and Air Conditioning

All exterior utility equipment wherever possible must be incorporated into the main building or, along with other detached structures, must be architecturally compatible with the residence. All utility equipment shall be coordinated to match the color of the wall to which it is mounted. Air conditioning, electrical and gas meters shall be fully screened from view of the roads within practical limits determined by the Architectural Review Committee. Air conditioning units shall be installed at ground level and shall be fully screened from adjoining residences and roads. All utility connections shall be carefully coordinated to minimize site disruption.

D. Garages

Attached garage elevations and doors shall be an integral part of the design of the home and not dominate or overwhelm the front elevation. Multiple openings shall be designed to minimize their apparent size. Garages must be well proportioned with respect to the rest of the house and site. Guest parking shall be provided other than in front of the garage doors where possible. Oversize garage doors (for RVs, boats, etc.) should be oriented away from primary public and private roads and must be designed as an integral part of the overall structure.

Architectural forms, materials and design details present in the building's elevation, including masonry and windows, shall be incorporated into the garage elevation.

E. Roofs

The form of a building's roof has much to do with architectural character. Maintaining a human scale to the community, and its homes is an important part of the Wild Pointe Ranch concept. The Committee will carefully review roof massing and encourages creative and harmonious use of hips, clipped hips, gables, multiple ridges and roof axis, dormers and lower eave heights. Well defined eave detailing with strong shadow lines and articulation is required, as is careful consideration of gutter and downspout location and detailing. Roof overhangs of less than 12 inches will generally be discouraged by the Committee.

Roofing materials should be considered with respect to harmony of color and texture with other materials on the dwelling and adjacent properties and with the colors of the natural landscape. Roofing materials must be fire resistant (Class A as per NFPA 299) and must be approved by the Committee.

Careful attention must be given to roof accessories. Metal roof vents shall be discouraged in lieu of gable vents or concealed ridge venting. Furnace and fireplace flues shall be enclosed within a chimney where possible, and chimney caps shall be finished to blend with the architecture. Solar collectors are allowed only when they are fully integrated with the roof design and will not be approved when supported on contrived platforms. All roof furnishings, with the exception of valley flashing, shall be painted to match the roof.

Attention should be paid to overall building height, which is a maximum of 35 feet, as it relates to topography, vegetation and adjacent structures.

F. Exterior Materials and Finishes

Dwellings within Wild Pointe Ranch shall be designed with a high level of detail and a sophisticated combination of materials. Careful attention should be paid to the interfaces between materials. Quality materials such as natural or artificial stone, masonry, stucco, and selected use of natural wood and siding will be encouraged within the development in keeping with the upscale image of the community and the desire for visual harmony. Using a material on only one side of the primary structure is not acceptable. Materials should be integrated into the overall architecture of the building. Concrete foundation walls shall have minimal exposure and shall be faced or finished to blend with the general architectural design of the building.

The use of stone or Committee approved synthetic stone veneers is encouraged within the community. As these aspects cannot be interpreted from small samples, the Committee will only consider their use with a full 4' x 4' sample layup for its review. The Committee reserves the right to reject samples that appear out of character and quality with the community.

The use of stucco is allowed, but careful consideration must be given to creating a natural fit with the balance of the building. Arbitrary usage that makes an awkward statement or that looks like an addition will not be approved by the Committee. Although it is not prohibited, a stucco based house will be reviewed very critically with respect to detailing, color and massing. A high level of articulation to the wall surfaces through the use of detail and reliefs will be required. Careful color blending will also be a requisite.

Concrete foundation walls shall have minimal exposure and shall be faced or finished to blend with the general architectural design of the building.

Wood is encouraged as a building material when properly accented with complementary materials. "Rustic" textures will be encouraged within the project. When lap siding is used, a distance of no greater than 8" between boards is required with a preference toward shorter distances. Durable stains and paints are acceptable finishes when approved with the material's submittal. Other materials not addressed in these standards including manufactured, artificial, simulated, or imitation sidings, shall be reviewed on an individual basis and the Architectural Review Committee retains the right of refusal. However, the Committee encourages the use of siding. No bright, unfinished or mirrored surfaces will be allowed. All finishes should be subdued in nature, although brighter accent colors will be acceptable for occasional highlights when approved by the Committee. Fire resistant materials are strongly encouraged.

All finishes should be subdued in nature, although brighter accent colors will be acceptable for occasional highlights when approved by the Committee. Fire resistant materials are strongly encouraged.

Careful analysis of exterior colors for their appropriateness and compatibility with the site is very important. In general, darker colors and earth-tone colors will integrate with the existing site conditions. An on-site analysis will be required to compare the colors proposed to the site conditions. Sample boards of all colors and materials proposed to be used on the exterior must be supplied for analysis by the Committee.

In general, the roof color shall be darker and less reflective than the field color of the building. A secondary field color should only be used in ways that are appropriate to the architectural style.

No house adjacent to or directly across from another may share the same color scheme.

G. Building Elevations

All building elevations shall be well articulated to reduce boxiness and to strongly express acceptable styles. Adjacent or facing single-family residences may not have the same elevation or the same color scheme on the exterior.

H. Covered Entryways and Porches

A covered entryway for the front door is required on all residences. This may be accomplished by the use of a porch, porte cochere, second floor overhang, etc. Minimum covered area is 50 square feet in the entry area. Minimum dimension for width and depth is 5x10 feet. Entryway covers must utilize the same material as the main roof system.

I. Decks, Balconies and Covered Patios

The design of balconies and elevated decks, including their materials and colors, shall be consistent with and complimentary to the main structure and not appear to be tacked on to a house or building.

VI. CONSTRUCTION PERIOD REGULATIONS

In the interest of all Unit Owners and contractors, the following regulations shall be enforced during the construction period. These regulations shall be binding on all Builders and Unit Owners and may be enforced by the Association or Committee. Without limiting the foregoing, fines for violations of these regulations will be levied by the Committee of up to \$500 per incident. A \$5000 fine will be assessed for any construction started prior to receiving approval. Once notified all construction must stop until the fine is paid and approval from ARC is obtained.

A. OSHA

All applicable OSHA regulations and guidelines are to be strictly observed by builders and their contractors at all times.

B. Construction Limits

The Architectural Review Committee may require the contractor to provide a detailed plan of construction limits prior to construction. The plan shall include size and location for construction material storage areas, limits of excavation, access areas, parking, chemical toilet location, dumpster, fire extinguisher, utility trenching, and a construction sign.

C. Construction Trailers, Sheds, or Temporary Structures

Any construction shelters or trailers shall be approved by the Committee as to their size, configuration, and location.

D. Excavation

Excess excavation material shall be removed from the property and shall not be placed in common areas, roads, or other Lots (except as approved on a site specific basis by the Committee). Excavation, except for utility trenching, shall be on the Unit Owner's site only. Contractors are discouraged from spreading excess debris or material over the remainder of the Lot.

E. Debris and Trash Removal

Unit Owners and contractors shall clean up all trash and debris on the construction site at the end of each day. An enclosed trash container of a minimum height of 4 feet shall be located on each building site at all times for containment of lightweight materials, packaging, or other trash materials which may blow off the site. No debris shall be located outside of this contained area.

Trash and debris shall be removed from each construction site when trash containers are full. No trash may be placed on adjacent or nearby lots. Violations and abuses that are specifically discovered may be removed and charged to the violating Unit Owner/contractor.

All vehicles will be parked so as not to inhibit traffic or damage surrounding natural landscape. Vehicles shall not be left on community roads overnight.

F. Storage of Materials and Equipment

Unit Owners and contractors are permitted to store construction materials and equipment on the construction site during the construction period. Construction materials shall be neatly stacked, properly covered and secured. Storage of materials or construction equipment outside the approved construction site will be done only with approval of the Architectural Review Committee. Any storage of material and equipment shall be the responsibility of the Unit Owner or contractor. Unit Owners and contractors will not disturb, damage or trespass on other lots or the open space. Should any damage occur, it will be restored and repaired at the offender's expense.

To use adjoining property, the applicant shall obtain written permission from adjoining property owners for "Right of Entry" during the course of construction or to stockpile materials. The Architectural Review Committee must be notified of all "adjoining property use and conditions."

G. Driveway Base Course

In an effort to minimize the amount of dirt and mud tracked on the roads, the approximate driveway location should be staked prior to foundation excavation and 4" of base course put in prior to frame completion.

H. Construction Fence

Vegetation to be retained shall be fenced with a standard plastic construction type fence or hay bails outside the dripline or root-zone to minimize damage during construction.

I. Hours of Construction

Construction activity shall not be conducted between the hours of seven p.m. and seven a.m. of the next day.

J. Blasting

If any blasting is to occur, the contractor shall be responsible for informing all residents in the proximity of the blasting site.

K. Restoration and Repair

Damage to any property other than the Unit Owner's shall be promptly repaired at the expense of the person or entity causing the damage.

L. Dust, Noise, and Odor

The following actions are prohibited in this community:

1. Changing oil of vehicles and equipment without proper receptacles and removal procedures.
2. Concrete equipment cleaning or concrete dumping shall be confined to the lot.
3. Removing any rocks, trees, plants, or topsoil from property other than the Unit Owner's lot, unless approved by the Architectural Review Committee.
4. Careless treatment of trees or Private Open Space Preservation Easements.
5. Use of spring, surface, or irrigation water for any purpose.
6. Signs other than approved construction or real estate signs.
7. Careless use of cigarettes or flammable items.
8. Firearms.

M. Trailers

Storage areas for constructions trailers must be approved by the Architectural Review Committee.

VII. LANDSCAPE DESIGN REVIEW STANDARDS AND PROCEDURE

Landscape improvements are the final critical element in the overall visual integrity and aesthetics of Wild Pointe Ranch. Consequently, careful attention has been given to these landscape standards to ensure that the landscape concept for each individual dwelling is a positive addition and will be compatible and harmonious with the overall community.

A natural or natural appearing landscape or Xeriscape is preferred for each lot.

All landscape construction in this community, whether new landscape plantings, subsequent improvements, or drainage improvements is subject to review under the following Design Guidelines and requirements. All Unit Owners shall comply with the following process, in order to gain approval from the Architectural Review Committee for any landscape construction. **Only after receiving written approval through this process shall landscape installation begin.**

- a. Each lot shall have a comprehensive Landscape Review Plan submitted for final approval within the first 6 months after closing.
 - i. Plan to include all elements listed below in section A.2.e.
 - ii. Installation completion time shall be accordance with section C.1., with remaining elements completed within 2 years of closing.
- b. Landscape & Improvement Review Fee
 - i. All submittals (excluding re-submittals after disapproval) require a review fee of \$200.00 payable upon submission.
 - ii. The Landscape & Lot Improvement Review Fee is a one-time fee paid by the homeowner and covers all landscape and lot improvement design reviews after closing.
 - 1. This fee does not cover or related to the initial Primary Residence design review approval process.

A. Review Procedure

1. Pre-design Meeting

Prior to preparing the landscape plan for a residence, it is required that the Unit Owner and/or his designated designer, meet with a Committee member to discuss plans, requirements, and existing conditions of the site. This informal review is to offer guidance prior to initiating design and will help to minimize changes and delays. At this time, existing conditions and concerns will be noted and desirable outdoor functions, such as eating areas, gardens, play areas, fencing, etc. and their locations will also be discussed enabling the designer to address them in the design. Identifying concerns up front will save time later. Minutes of the pre-design meeting will be sent to the Unit Owner and Landscape Architect and will also be kept in the Committee office.

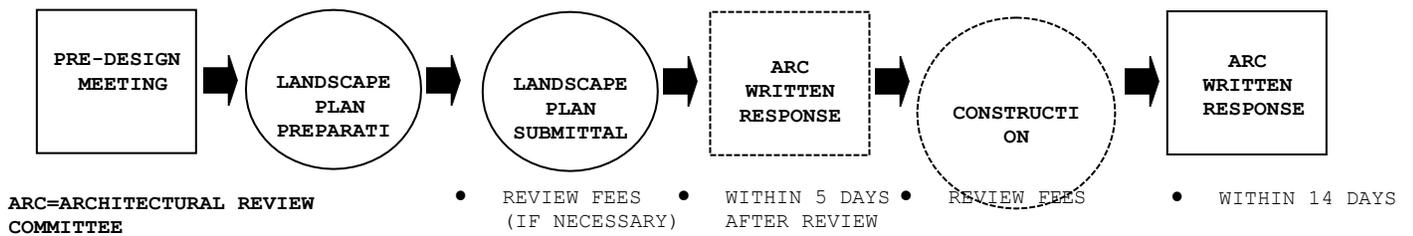


Illustration VII A: Review Procedure

Send inquiries to: Z&R Property Management

3/25/96

6015 Lehman Dr Suite 205
Colorado Springs, CO 80918
office@zandrmgmt.com

If possible, a pre-design meeting should occur after the builder has completed the house, grading, and exterior details such as decks, walks, driveways, septic systems, etc.

2. Plan Submittal

Following the pre-design meeting, the Unit Owner may develop a landscape plan. Three copies of the plans shall be submitted. The plan must contain the following information.

- a. Lot, Filing number and Unit Owner's name and address.
- b. Designer's name, address, and telephone number.
- c. Scale of minimum 1" = 10' and North arrow.
- d. All existing conditions, including house, walks, driveways, septic systems, patios, decks, walls, topography with a contour interval of 2 feet or less, drainage ways, neighboring landscape plantings along the property lines, natural features, easements, property lines, and other legal restrictions that may exist.
- e. All proposed improvements designed in accordance with the Landscape Design Guidelines including drainage ways, proposed grading with a contour interval of 2-foot or less, trees and shrub beds with botanical or common names of all plant materials including perennial and ground cover beds, sizes (WIDTH, CALIPER AND HEIGHT), all landscape features such as walls, fences, gardens, hot tubs, pools, tennis courts, gazebos, gardens, storage sheds, water features, boulders, structures, play equipment, lighting, etc.

3. Plan Submittal to Architectural Review Committee

The Unit Owner shall submit the above plan(s) to the Architectural Review Committee. Send submittal information to:

Z&R Property Management
6015 Lehman Dr Suite 205

Colorado Springs, CO 80918
office@zandrmgmt.com

The Committee will review the plan(s) and will provide a written response no later than 14 days after the review. The written response will indicate approval of the plan, approval with modifications, or denial. If the plan is denied, a written response will be given explaining the reasons for denial. Any resubmittal shall follow the submittal procedures and address the areas of concern.

Construction must not begin prior to receiving written approval from the Architectural Review Committee.

B. Landscape Design Guidelines

1. Background

These Design Guidelines are intended to guide construction of landscaping within residential lots in a manner that allows for individual creativity while assuring compatibility within the overall natural and open character of the community. Continuity may be achieved through the use of native vegetation and other domesticated vegetation that is designated as hardy in the local climate. The open appearance of the community must be maintained. Site specific landscaping improvements must integrate building structures into the site through various landscaping techniques. Landscape designs should include transitions from more intensely built areas into the natural open space areas, appropriate use of buffer areas and screening techniques, revegetation of disrupted areas with similar plant materials, and incorporation of a native plant palette to "fit" into the overall character of the community.

2. Grading and Drainage Requirements

These standards for grading and drainage are general, minimum standards only and shall not constitute a representation, warranty or agreement by the Developer, the Architectural Review Committee or the Association that adherence to such minimum standards in designing or constructing a residence or installing landscaping shall result in a residence or landscaping which is free from any defects. Unit Owners are responsible for having a soils test, soils engineering report prepared by a registered professional engineer, and other necessary inspections completed to assure adequate design for construction of residences and installation of landscaping. Neither the Developer, the Architectural Review Committee nor the Association shall be liable for any damages resulting from the design or construction of any home or landscaping which has been approved by the Committee pursuant to these guidelines or for any damages resulting from an Unit Owner's failure to meet or exceed the minimum Design Guidelines set forth in these guidelines when necessary for the proper design and completion of residences or landscaping.

a. Grading and Erosion Control

A Master Grading Plan has been submitted for Wild Pointe Ranch as part of the final plat submittal. The Master Grading Plan shall respect and enhance the natural topography to create an aesthetically pleasing environment, taking into consideration the plan for development, the Master Drainage Plan, housing design, and equestrian requirements. Landscape design shall minimize site disturbance and grading shall prevent ponding or runoff across the site or onto adjacent property. Newly graded areas shall be protected against erosion following the requirements stated below, and the process defined by the Weed Management Plan created for Wild Pointe Ranch. All graded slopes should be "rolled" back into existing slopes, so that no sharp contrast exists between existing and disturbed slopes. The character of Wild Pointe Ranch is intended to reduce the overall amount of grading in order to retain as much of the existing topographic and landscape characteristics as is possible. No overlot grading shall be allowed on any residential lots in Wild Pointe Ranch. **All disturbed areas shall be reseeded with a native seed mixture.**

Construction within areas identified as Headwater Erosion Areas and designated as "HEA" on the subdivision plat is subject to special mitigation requirements. HEA shall be mitigated by one or more of the following practices: grading to redirect intermittent surface water flow, installation of erosion fabric, use of riprap, culverts with drop structures, and/or individual on-lot detention of runoff.

b. Drainage

A Master Drainage Plan has been submitted for Wild Pointe Ranch as part of the Final Plat submittals that provides for retention of water within the boundaries of the PUD, that preserves natural drainage patterns to the greatest extent practical, and identifies the location of drainage facilities and easements. All landscape elements shall be placed on the lot so that there is as little disturbance as possible to the finished grade as reflected on the Master Grading Plan and Master Drainage Plan. Each lot is responsible for accepting historical drainage from uphill lots and diverting it away from critical areas on the lot, including house foundations, driveways, and garden or walk-out level features. Each lot is also responsible for diverting runoff water to the front street borrow ditches or to the rear area of the lot or other acceptable drainage areas. Each lot is responsible for controlling silt with hay bales or other acceptable methods during construction.

c. Weed Control

Unit Owners are required to follow the requirements of the Wild Pointe Ranch Weed Management Plan which includes the obligation to reseed disturbed areas with native grasses due to construction of buildings, landscaping and grading of the site. These areas must also be mowed and sprayed for weeds on a regular

basis so as to minimize the propagation of weeds on the lot. The Committee will strictly enforce these requirements.

3. Planting Design Guidelines

Tree plantings shall be incorporated into the overall planting plan in a natural pattern. More formalized plantings, when used, should occur in closer proximity to the primary structure and other built-out areas and should become less formal as the landscape transitions from the built-out areas into the preserved open space areas. A variety of tree heights and species should be included to promote diversity within the landscape. Trees should be grouped unless emphasis is to be placed on a specimen type tree. Effective screening can be achieved through tree plantings, sometimes in conjunction with adjacent neighbors and the community as a whole to achieve a more unified and cohesive landscape. No hedge, tree or shrub planting will be allowed which would obstruct sight lines at intersections as identified in the Elbert County Roadway Standards.

- a. All mechanical equipment (transformers, gas meters, AC units, etc.) not screened architecturally shall be screened with berms or plant material and shall be painted to blend into adjacent building material colors.
- b. No plantings of trees or shrubs will be permitted over septic fields. Only non-irrigated turf is allowed over a septic field.
- c. Parking areas, driveways, utility boxes, trash enclosures, pet enclosures, play equipment, gardens, swimming pools, tennis courts, hot tubs and other such items should be screened from adjoining residences and roads. Landscape screening is recommended at all locations in which living areas of a home are visible to and from other homes.
- d. The use of perennials to add color and texture to the landscape is highly encouraged when appropriate.
- e. Turf areas may include a bluegrass or bluegrass mix sod (suggested mix: bluegrass and fescue). Other turf species that are more water conservative such as buffalo grass mixes, fescue mixes and other native seed mixes are strongly encouraged. Reseeding should be completed using the Wild Pointe native grass mixture.

5. Landscape Features

A detail of the following features must be submitted with the landscape plan and approved by the Committee prior to installation:

Fences
Walls

Pools, hot tubs
Play Equipment

Structures
Gardens
Large rocks (Boulders)
Chicken Enclosures/houses
Other Site Elements

Lighting
Bird Baths
Bird Houses
Storage sheds

6. Irrigation:

A maximum of 1/8th-acre of irrigated area is permitted on each residential lot. Additional drip-type irrigation shall be permitted for trees and shrubs planted outside of the designated 1/8th-acre irrigated turf grass area. All planted areas shall receive automatic-type irrigation coverage. Irrigation requirements may be waived in areas planted with native species subject to the review and approval of the Architectural Review Committee. All irrigation system components shall incorporate the latest technologies in water conservation. Areas of restorative grasses need not provide irrigation.

- a. Water Conservation. In the landscaping of residential and other development sites, it is urged that plant materials, irrigation systems, and maintenance practices be utilized which conserve water. Although water conserving landscapes are often associated with a rather bleak "dry-land" appearance, it should be noted that a more traditional "green" appearance can be achieved while still using much less water than typical suburban residential landscapes. The Committee recommends that all Unit Owners review the Xeriscape brochure titled How to Xeriscape produced by the Denver Water Department. Xeriscape areas should be irrigated on a separate zone and all plant material in the area should be low water tolerant plants.
- b. Temporary Irrigation Systems. Variances to the maximum area of irrigated turf may be granted by the Architectural Review Committee on a temporary basis. Larger, temporary systems may be required to establish larger areas of native landscaping. A temporary system may be in operation for a maximum of two (2) years from the date of commencing operation. When two years have elapsed, either the system must cease operation or the temporary system must be reduced to "fit" within the maximum allowed square feet of irrigated turf area.

7. Maintenance:

All landscaping shall be maintained in a neat and attractive condition. Minimum maintenance requirements include watering, mowing, edging, pruning, removal and replacement of dead or dying plant material, elimination of weeds and undesirable grasses, and removal of trash.

C. Landscape Installation

1. The minimum landscaping required in paragraph 2 and 3 below must be installed within 365 days of occupancy. All additional landscaping shall be installed as soon as possible after occupancy.
2. Each Unit Owner must plant a minimum of 5 trees on their lot to be incorporated with the overall landscape design. These trees shall have a minimum caliper of 2.5 inches at the time of planting.
3. Each Unit Owner shall be required to install a minimum 5 foot wide rock barrier around the entire perimeter of the primary dwelling unit on the lot. The rock used should blend aesthetically with the color palette of the house and should be retained using edger material.
4. No existing trees may be removed from a lot unless they are dead. During construction of any improvements or landscaping, the Unit Owner and/or Builder shall take all reasonable and appropriate protective measures to prevent damage to any tree, including installation of a construction barrier around any tree located in close proximity to the construction activity. If damage to a tree occurs, the tree shall be replaced with a tree of similar size and species.
5. It is recommended that all landscaping, including vegetable gardens, be constructed within the lot's building envelope. The ARC will consider approving landscaping (but not hardscapes such as patios) outside the building envelope in situations where the siting of the house, driveway or other structures reasonably requires the location of certain portions of the landscape design to fall outside of the building envelope. Such requests for landscaping approvals outside the building envelope shall be considered by the ARC on a case by case basis and such approvals are at the sole and absolute discretion of the ARC.
6. Material staging and holding areas are restricted to the site being installed. Under special circumstances a vacant lot may be used, but only with prior written permission from the Unit Owner.
7. After installation, all materials must be cleaned up from the site and surrounding area. If any material is left on site, it will be disposed of and charged to the contractor or Unit Owner.
8. Landscaping must conform to the plan and meet the requirements of these guidelines. All stipulations and changes made during the approval process must be followed.
9. The Architectural Review Committee reserves the right to inspect the site during and/or after installation to insure that it conforms to the required Design Guidelines and approved plan. In the event that the installed landscape does not meet the required Design Guidelines and does not follow the approved plan, the Committee reserves the right to require the contractor or Unit Owner to correct any problems at the contractor's or Unit

Owner's expense. The contractor/Unit Owner shall immediately correct any installation which is not in conformance with the approved plans.

D. Landscape Design Suggestions

1. Retain as much of the existing landscape as possible to retain the natural character of the community.
2. Use a Xeriscape design for landscaping and revegetation of each lot.
3. Reseeding should be completed using native grass mixtures only.
4. Use plant materials that produce special effects at different times of the year so that the landscape will have interest during each season.
5. In large shrub beds, plant groups of shrubs and perennials. Plant a minimum of 3 of the same shrub together in a cluster and 5 of the same perennial. This will create more of an impact on the landscape.
6. Design beds so that areas of turf less than 3 feet in width are not created.
7. Design both in elevational views as well as plan view. Use the architectural elevations or pictures of the house to determine what plant massing, height, and density would work best to enhance and compliment the architecture.
8. Whenever possible include tree locations in planting beds.
9. Group plants with similar water requirements so that the irrigation system can be adjusted by specific zones.
10. Design with perennials and annuals to add additional color and texture to the landscape. Use low to medium height perennials along walkways and patios. Use medium and larger perennials in masses at perimeter plantings.
11. Place spruce and pine trees at least 15 feet from the house.

VIII. SUMMARY

As expressed earlier, the intent of these Design Guidelines is to provide a basis for harmonious treatment of visible development within this unique environment, so that all who live here can expect to continue enjoying their surroundings. At the same time, the desire of individuals to develop a living space that contains some personal expression will be considered.

Accordingly, these Design Guidelines have been developed with a great deal of attention paid to general goals and concepts and less attention to detail, except where such detail is considered

essential. It will be the duty of the Architectural Review Committee to interpret these goals and concepts in a consistent manner, always attempting to keep the best interests of the Wild Pointe Ranch community in mind. With the cooperation of all Unit Owners, this should be an attainable goal.

A. Legal Basis

The process for establishing the Architectural Review Committee and defining the specific duties and powers conferred on it is specified in the Declaration. Under the terms of the Declaration, the Wild Pointe Ranch Architectural Review Committee does hereby establish these Design Guidelines for Wild Pointe Ranch in Elbert County.

The Declaration is recorded in the office of the Clerk and Recorder of Elbert County, Colorado. All property owners should refer to the recorded documents for the complete text of the Declaration. This Declaration is the basis of the authority for these procedures and is legally binding.

The Declaration will control if there are any discrepancies between these Standards and the Declaration. Copies of the Declaration and current Design Guidelines are available from the Architectural Review Committee office, 7991 Shaffer Parkway, Suite 200 Littleton, CO 80127.

APPENDIX

WILDLIFE CONSIDERATIONS

1. Protect your pets! Do not let your pets roam, especially at night. Pets should not be fed outside. Do not leave pet food outside.
2. Feeding of wildlife will be prohibited, except for feeding of song birds. Feeders should be brought inside at night to prevent attracting other animals into the community.
3. All garbage should be stored in secure containers with lids to minimize its attractiveness to potential nuisance wildlife species. Keep the cans in the garage or storage shed, and put trash out only when it is scheduled to be picked up.
4. Close holes around and under the foundation of your home so that animals will not be tempted to homestead. Bury wire mesh 1 to 2 feet deep in places where animals might gain access.
5. Screen fireplace chimneys and furnace, attic and dryer vents. Keep dampers closed to avoid "drop-in" guests. Chimney tops should be screened from February to September to prevent birds from nesting inside.
6. Seal all cracks larger than one inch wide to keep out rats, mice, bats and snakes.

The Colorado Division of Wildlife has numerous brochures and literature available for distribution to prospective land purchasers. This information may be available from the Developer at closing.

ARCHITECTURAL REVIEW COMMITTEE

SUBMITTAL APPLICATION FORM

Street Address: _____

Unit Owner: _____

Current Address: _____

City/State/Zip: _____

Home Phone: _____ Business Phone: _____

Review comments to be sent (if other than Unit Owner):

Name: _____ Company: _____

Address: _____

City/State/Zip: _____

Pre-Design Meeting Date: _____

Committee Member: _____

Committee Fee Paid: _____

Submittal:

Preliminary _____

Final _____

Certificate of Accuracy _____

Other _____

Lot _____

Block _____

Builder _____

Unit Owner _____

Submit Date _____

Review Date _____

COMMENTS:

**ARCHITECTURAL REVIEW COMMITTEE
PRE-DESIGN MEETING**

Street Address _____

Meeting Date and Time _____

ATTENDEES: _____

UNIT OWNER: _____ TELEPHONE: _____

BUILDER: _____ TELEPHONE: _____

ARCHITECT: _____ TELEPHONE: _____

CHECKLIST:

- | | | | |
|------------------------|-------|-------------------------|-------|
| Erosion control | _____ | Construction parking | _____ |
| Construction access | _____ | Building siting | _____ |
| Excess cut or fill | _____ | Overall concept | _____ |
| Driveway location | _____ | Mailboxes and lighting | _____ |
| Landscaping procedures | _____ | Destruction of wetlands | _____ |
| Drainage | _____ | Garage orientation | _____ |
| Antennas | _____ | Architectural concept | _____ |
| No outside campers | _____ | Construction fence | _____ |
| No radios or dogs | _____ | Street ramp | _____ |
| Set backs | _____ | Road base access | _____ |
| Trash and staging | _____ | Primary Building Area | _____ |

COMMENTS:

Lot _____
Block _____
Builder _____
Unit Owner _____

Submit Date _____
Review Date _____

ARCHITECTURAL REVIEW COMMITTEE
PRELIMINARY APPROVAL DATE
FINAL APPROVAL DATE _____

UNIT OWNER: _____ TELEPHONE: _____

BUILDER: _____ TELEPHONE: _____

ARCHITECT: _____ TELEPHONE: _____

SITE PLAN CHECKLIST:

Grading _____

Drainage _____
Survey _____
Building location _____
Driveway _____
Walkways _____
Fences _____

EXTERIOR FINISH CHECKLIST:

Roof _____
Siding _____
Stone _____
Brick _____
Trim _____
Other _____

ARCHITECTURAL CHECKLIST:

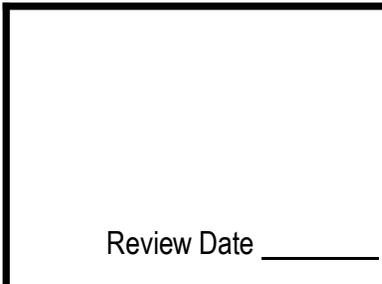
Elevations _____
Roof Plan _____
Floor Elevations _____

PLANS APPROVED _____
MATERIALS APPROVED _____
COLORS APPROVED _____

COMMENTS:

Lot _____
Block _____
Builder _____
Unit Owner _____
Review Date _____

Submit Date _____



Review Date _____

**ARCHITECTURAL REVIEW COMMITTEE
LANDSCAPE REVIEW**

Street Address _____

Meeting Date and Time _____ Pre-design Date _____

Preliminary Approval Date _____ Final Approval Date _____

ATTENDEES _____

UNIT OWNER _____ TELEPHONE _____ Address _____

BUILDER _____ TELEPHONE _____

ARCHITECT _____ TELEPHONE _____

CHECKLIST:

Sprinkler plan	_____	Berms	_____
Fence conformance	_____	Paving	_____
Security lighting	_____	Foundation planting	_____
Drainage	_____	Escrow or bond	_____
Mulch type and quantity	_____		
Schedule	_____		
Dog runs	_____		

COMMITTEE ACTION: _____

BY: _____

COMMENTS:

Specimen trees _____
Site lighting _____

Lot _____
Block _____
Builder _____
Unit Owner _____
Submit Date _____
Review Date _____

**ARCHITECTURAL REVIEW COMMITTEE
FIELD CHANGES FORM**

Street Address _____

Change Date and Time _____ Pre-design Date _____

Preliminary Approval Date _____ Final Approval Date _____

Unit Owner _____ TELEPHONE _____ Address _____

BUILDER _____ TELEPHONE _____

ARCHITECT _____ TELEPHONE _____

COMMENTS:

COMMITTEE ACTION: _____

BY: _____

Lot _____

Block _____

Builder _____

Unit Owner _____

Submit Date _____

Review Date _____

