

ELIZABETH WEST - PUD DEVELOPMENT PLAN

LOCATED IN SECTIONS 14 AND 15, TOWNSHIP 8 SOUTH,
RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ELBERT, STATE OF COLORADO



PREPARED FOR:

MF INVESTMENTS, LLC
PO BOX 4701
ENGLEWOOD, CO 80155

ENGINEERING:



6 Inverness Ct. E., Ste 125,
Englewood, CO 80120
303.925.0544

LAND PLANNING:



www.pcsgroupco.com

PCS Group, Inc.
200 Kalamath Street,
Denver, CO - 80233
720.259.8246

REVISIONS:

NO.	REVISION DESCRIPTION	DATE	BY
2	REVISION 1	03-30-21	JN
3	REVISION 2	08-31-21	JN
4	REVISION 3	05-5-22	JP
5	REVISION 4	07-20-22	JP

SHEET INFO:

COVER SHEET

DRAWN BY:

JN

DESIGNED BY:

JP

SUBMITTED ON:

2020-10-8

1
OF 4

DESCRIPTION OF PROPERTY:

A PARCEL OF PROPERTY LOCATED IN SECTIONS 15 AND 14, TOWNSHIP 8 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ELBERT, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 15 AND CONSIDERING THE WEST LINE OF THE NORTHEAST 1/4 OF SAID SECTION 15 TO BEAR S00°22'36"E WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
THENCE S00°22'36"E ALONG SAID WEST LINE A DISTANCE OF 40.09 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY 86; THENCE CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES;

- S89°54'23"E A DISTANCE OF 0.37 FEET;
- S83°31'18"E A DISTANCE OF 70.12 FEET TO THE POINT OF BEGINNING;
THENCE CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES;

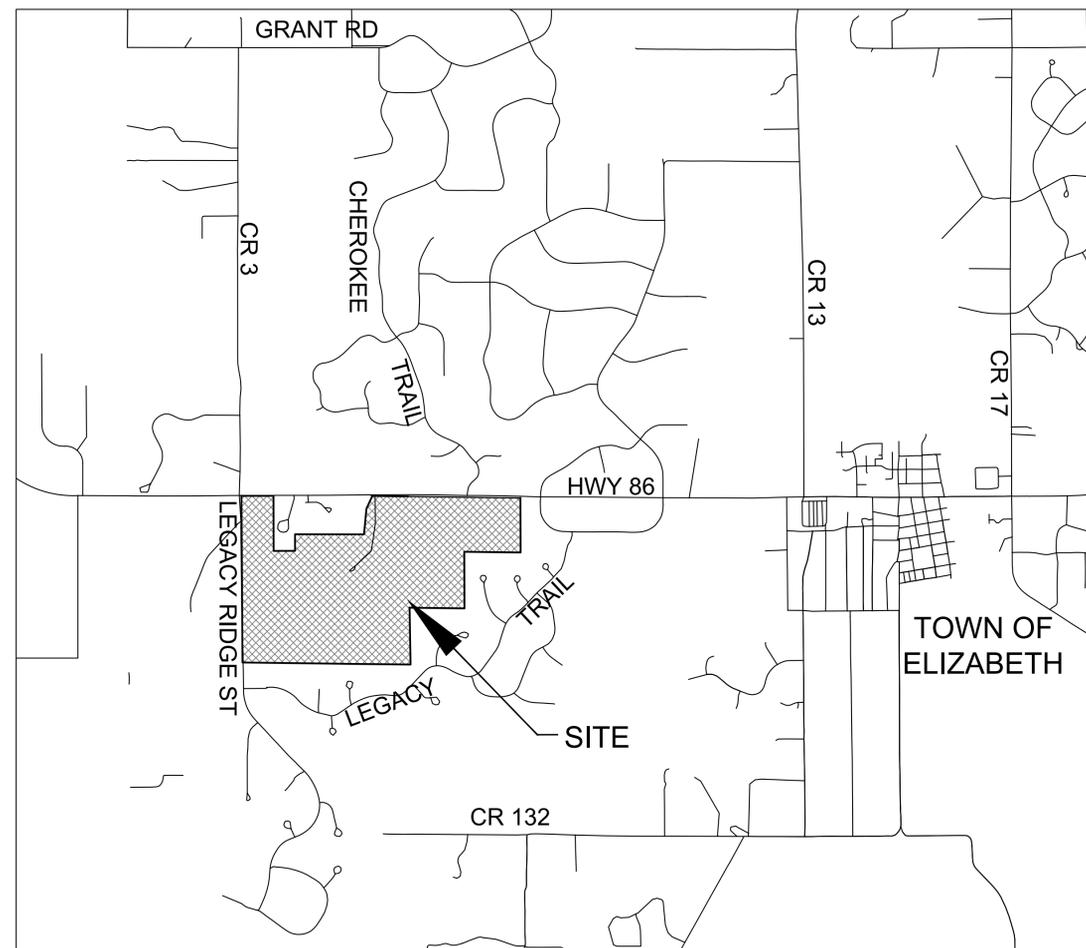
- S83°31'18"E A DISTANCE OF 16.55 FEET;
- S89°55'08"E A DISTANCE OF 740.68 FEET TO THE NORTHWEST CORNER OF A PARCEL OF PROPERTY RECORDED AT BOOK 282, PAGE 326 OF THE ELBERT COUNTY RECORDS; THENCE S00°05'50"E ALONG THE WEST LINE OF SAID BOOK 282, PAGE 326, A DISTANCE OF 1292.59 FEET TO THE SOUTHWEST CORNER OF A PARCEL OF PROPERTY AS DESCRIBED IN RECEPTION NO. 476359 OF THE ELBERT COUNTY RECORDS; THENCE N89°51'53"E ALONG THE SOUTH LINE OF SAID RECEPTION NO. 476359 A DISTANCE OF 505.82 FEET; THENCE N00°07'31"W ALONG THE SOUTH LINE OF SAID RECEPTION NO. 476359 A DISTANCE OF 390.28 FEET TO THE SOUTHWEST CORNER OF A PARCEL OF PROPERTY AS DESCRIBED IN BOOK 458, PAGE 364 OF THE ELBERT COUNTY RECORDS; THENCE ALONG THE SOUTH AND EAST BOUNDARY OF THE PARCEL OF PROPERTY AS DESCRIBED IN SAID BOOK 458, PAGE 364 THE FOLLOWING THREE (3) COURSES;

- S89°55'24"E A DISTANCE OF 1626.53 FEET;
- N05°27'16"E A DISTANCE OF 603.81 FEET;
- N24°47'53"E A DISTANCE OF 332.60 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY 86; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE THE FOLLOWING FIFTEEN (15) COURSES;

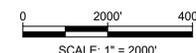
- S89°10'48"E A DISTANCE OF 835.99 FEET;
- S89°10'48"E A DISTANCE OF 37.91 FEET;
- S80°15'18"E A DISTANCE OF 96.70 FEET;
- S89°10'48"E A DISTANCE OF 50.00 FEET;
- N74°07'12"E A DISTANCE OF 52.21 FEET;
- S89°10'48"E A DISTANCE OF 200.00 FEET;
- S83°28'03"E A DISTANCE OF 200.93 FEET;
- S89°10'48"E A DISTANCE OF 200.10 FEET;
- N79°30'42"E A DISTANCE OF 101.99 FEET;
- S89°10'48"E A DISTANCE OF 396.03 FEET;
- S89°10'44"E A DISTANCE OF 510.79 FEET;
- S69°52'50"E A DISTANCE OF 105.90 FEET;
- S89°10'44"E A DISTANCE OF 200.00 FEET;
- N71°31'22"E A DISTANCE OF 105.90 FEET;
- S89°10'44"E A DISTANCE OF 448.06 FEET TO A POINT ON THE OUTER BOUNDARY OF WILD POINT SUBDIVISION AS RECORDED AT RECEPTION NO. 436639 OF THE ELBERT COUNTY RECORDS;
THENCE ALONG THE OUTER BOUNDARY OF SAID WILD POINTE SUBDIVISION THE FOLLOWING NINE (9) COURSES:

- S01°18'35"E A DISTANCE OF 1282.42 FEET
- N89°34'47"W A DISTANCE OF 1355.08 FEET
- S00°00'26"W A DISTANCE OF 1299.89 FEET
- N89°47'18"W A DISTANCE OF 24.33 FEET TO A POINT ON THE WEST LINE OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 14;
- S00°12'40"E A DISTANCE OF 19.61 FEET TO THE SOUTHEAST CORNER OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SAID SECTION 14;
- N89°15'50"W A DISTANCE OF 1295.00 FEET;
- S01°01'07"E A DISTANCE OF 1334.66 FEET;
- N89°24'56"W A DISTANCE OF 1394.60 FEET;
- N89°16'39"W A DISTANCE OF 2570.21 FEET TO A POINT 70.00 FEET EAST OF THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 15;

THENCE N00°22'36"W, PARALLEL WITH THE WEST LINE OF THE SOUTHEAST 1/4 AND NORTHEAST 1/4 OF SAID SECTION 15, A DISTANCE OF 3916.48 FEET TO THE POINT OF BEGINNING.
CONTAINING 425.90 ACRES +/-



VICINITY MAP
SCALE: 1" = 2,000'



ZONING

EXISTING: TOWN OF ELIZABETH, AGRICULTURE (A-1)
PROPOSED: TOWN OF ELIZABETH, PUD

SHEET INDEX

SHEET 1: COVER SHEET
SHEET 2: ZONING NARRATIVE
SHEET 3: LAND USE MAP
SHEET 4: PHASING MAP

OWNER:

BK2, LLC
988 STATE HWY 86
ELIZABETH, CO 80107
PO BOX 3229
PARKER, CO 80134

NEW POINT PROPERTIES, LLC

1574 STATE HWY 86
ELIZABETH, CO 80107
5786 LOGAN CT.
DENVER, CO 80216

APPLICANT/ DEVELOPER:

MF INVESTMENTS, LLC
PO BOX 4701
ENGLEWOOD, CO 80155
303.507.6651
CONTACT: JIM MARSHALL
EMAIL: JIM@MGLINVESTMENTS.COM

PLANNING CONSULTANTS:

PCS GROUP, INC.
200 KALAMATH STREET,
DENVER, COLORADO 80223
720.259.8246
CONTACT: JOHN PRESTWICH
JEFF NORBERG
EMAIL: JOHN@PCSGROUPCO.COM
JEFF@PCSGROUPCO.COM

ENGINEERING CONSULTANTS:

2N CIVIL, LLC
6 INVERNESS CT. E SUITE 125
ENGLEWOOD, CO 80112
303.925.0544
CONTACT: ERIC TUIN
EMAIL: ERIC@2NCIVIL.COM

TRAFFIC CONSULTANTS:

LSC TRANSPORTATION CONSULTANTS, INC.
1889 YORK STREET
DENVER, CO 80206
303.333.1105
CONTACT: CHRISTOPHER MCGRANAHAN
EMAIL: CSMCGRANAHAN@LSCTRANS.COM

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ZONING NARRATIVE

DRAWN BY:
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DESIGNED BY:
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OF 4

1.1 Introduction & Project Narrative

The purpose of this section is to establish general provisions and clarify standards and requirements for development within the Elizabeth West Planned Unit Development (PUD) District. Due to the size of land area contained within this PUD (approximately 425 acres), the Town of Elizabeth's desire for a mixture of land use and housing types, and the corresponding long term build-out that is anticipated, a range of uses have been proposed for the overall project. This will allow for a variety of housing products, lot sizes, and uses. In addition to promoting land use and density flexibility, this approach will accommodate housing product, land planning, market and technological changes well into the future. Refer to the Land Use Matrix (Sheet 3) and Overall Planned Unit Development Plan Exhibit (Sheet 3) for specific planning area uses and densities.

The information presented in the accompanying package will demonstrate that the Elizabeth-West Community will:

- Provide a mix of land uses and connectivity consistent with the Town of Elizabeth Master Plan policies;
- Provide a substantial community amenity in the form abundant open space and parks, future commercial opportunities, and land for future Town facilities;
- Promote the implementation of the Town of Elizabeth Master Plan and Street Master Plan;
- Preserve substantial open space of regional value including the majority of the existing stands of trees, as well as the drainage way that runs approximately east west through the site; and
- Provide commercial/retail/and town facility uses. These uses will provide a significant tax base for the Town of Elizabeth.

The Elizabeth West Community will contain a mix of uses and tax base generation through the incorporation of a mix of commercial, retail, and office uses adjacent to Hwy-86. It is anticipated that this commercial zoning will provide much needed neighborhood commercial type uses for both the Town of Elizabeth, and surrounding neighborhoods.

Further, the Elizabeth West Community will ultimately provide a uniquely themed master planned community and, as proposed will provide a logical transition to the surrounding land uses. We believe that this plan will provide a mix of housing types not currently in abundance in the Town of Elizabeth. Open areas in the form of passive and active open space, pond areas, trail corridors, comprise over 134 acres of the property, or 32% of the project.

1.2 Individual Planning Area Caps

Each Planning Area has a permitted maximum number of residential dwelling units and for Planning Areas 1, 2, 3, and 13, a maximum non-residential square footage. These units may be platted within each Planning Area and final unit counts shall be determined during the Preliminary Plat process. Final platted densities are determined based on the Zone District designation within each of the Planning Areas. Transfer(s) of units between Planning Areas on the Administrative Site Plan are permitted with a maximum 10% increase beyond the cap for the recipient Planning Area. Refer to the Land Use Summary on Sheet 6 of this PUD for the maximum number of residential dwelling units and non-residential square footage permitted per Planning Area.

1.3 Residential Units Transfers

Transfer(s) of residential units from Planning Area to Planning Area (maximum transfer of units is 10% beyond the recipient cap) is permitted by the Developer with approval of the Community Development Director. Unit transfers shall be tracked by the Developer and provided to the Community Development Director with each such transfer at the Preliminary Plat stage.

Once a Planning Area has been fully platted through the Platting process, any remaining/unplatted residential units designated on the ELIZABETH WEST DEVELOPMENT PLAN shall remain available for transfer to other remaining recipient Planning Areas as long as the increase does not exceed the maximum density for that planning area. At no time shall this overall ELIZABETH WEST DEVELOPMENT PLAN residential unit cap exceed 623 units without a major amendment to the PUD, and must be processed as a PUD Amendment under Section 16-1-240 of the Elizabeth Municipal Code.

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1.4 Parcel Boundaries

Parcel acreages and boundaries of the Planning Areas shown on the ELIZABETH WEST DEVELOPMENT PLAN are preliminary and subject to change with detailed planning. Wherever a Planning Area abuts a street as shown on the ELIZABETH WEST DEVELOPMENT PLAN, the Planning Area boundary is the edge of the abutting right-of-way of such. Wherever a Planning Area does not so abut a street, the Planning Area boundary shall be as shown on the ELIZABETH WEST DEVELOPMENT PLAN. Modifications in Planning Area boundaries and streets may be accomplished by final road alignments or engineering refinements shown on a Site Plan or Plat, without any amendment to the ELIZABETH WEST DEVELOPMENT PLAN provided the Planning Area does not increase or decrease by more than ten percent (10%) in size.

1.5 Development Phasing

Phasing will occur in a logical and cost effective manner based on infrastructure extension, availability of utility service and market conditions. The project will be built in several phases, as conditions dictate. It is anticipated that development will begin in the northeast and along Hwy 86, and progress to the south and southwest. However, the ELIZABETH WEST DEVELOPMENT PLAN shall permit development of Planning Areas to commence in other Phases regardless of the build-out status of parcels located in current or preceding Phases (e.g. Development of Planning Areas in Phase 3 may commence prior to commencement or completion of Planning Areas in Phase 1). Please refer to Page 4 for the anticipated phasing plan. Elizabeth West is committed to commercial development and acknowledges the importance of commercial uses within the overall community.

1.6 Lighting and Dark Skies

Development within Elizabeth West will conform with Lighting and Dark Sky Standards, which will be incorporated into Design Guidelines for Elizabeth West.

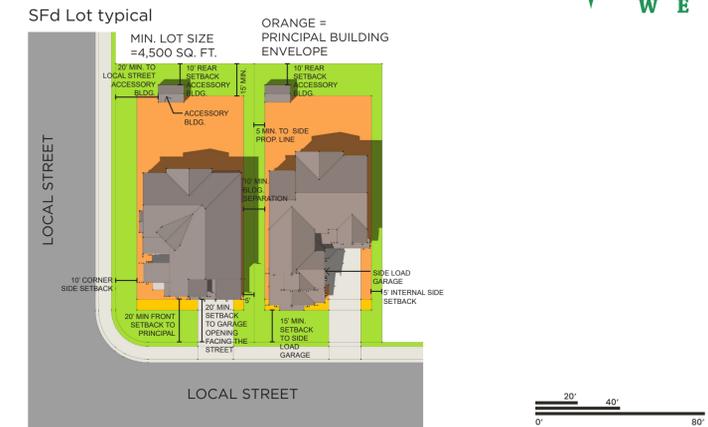
1.7 Effect of the Town of Elizabeth Zoning Ordinance

The provisions of this PUD shall prevail and govern the development of Elizabeth West provided; however, where the provisions of the PUD do not address a specific subject, the provisions of the Town of Elizabeth Zoning Ordinance or any other applicable ordinances, resolutions or regulations of the Town of Elizabeth shall prevail.



Lot Width in SFd Planning Areas ranges from 45' to more than 70' wide

1.8 Lot & Block Typicals



SFf Lot typical



- Lot width 5' wider than adjacent lot.
 - a. Not more than three (3) adjacent newly platted lots shall have the same width.
 - b. Required variations in lot width shall be not less than five (5) feet.
 - c. Required variations in front yard setbacks shall be in distances of not less than five (5) feet.
 - d. Not more than sixty percent (60%) of front yard setbacks on the same side of a street within a block shall be the same. A minimum difference of eight (8) inches is required.

Building Setback



Minimum lot width in SFf Planning Areas is 125' wide

Buffer Planting=1 tree & 5 shrubs per 25 linear feet of building facade.

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4	07-20-22	JP	REVISION 4

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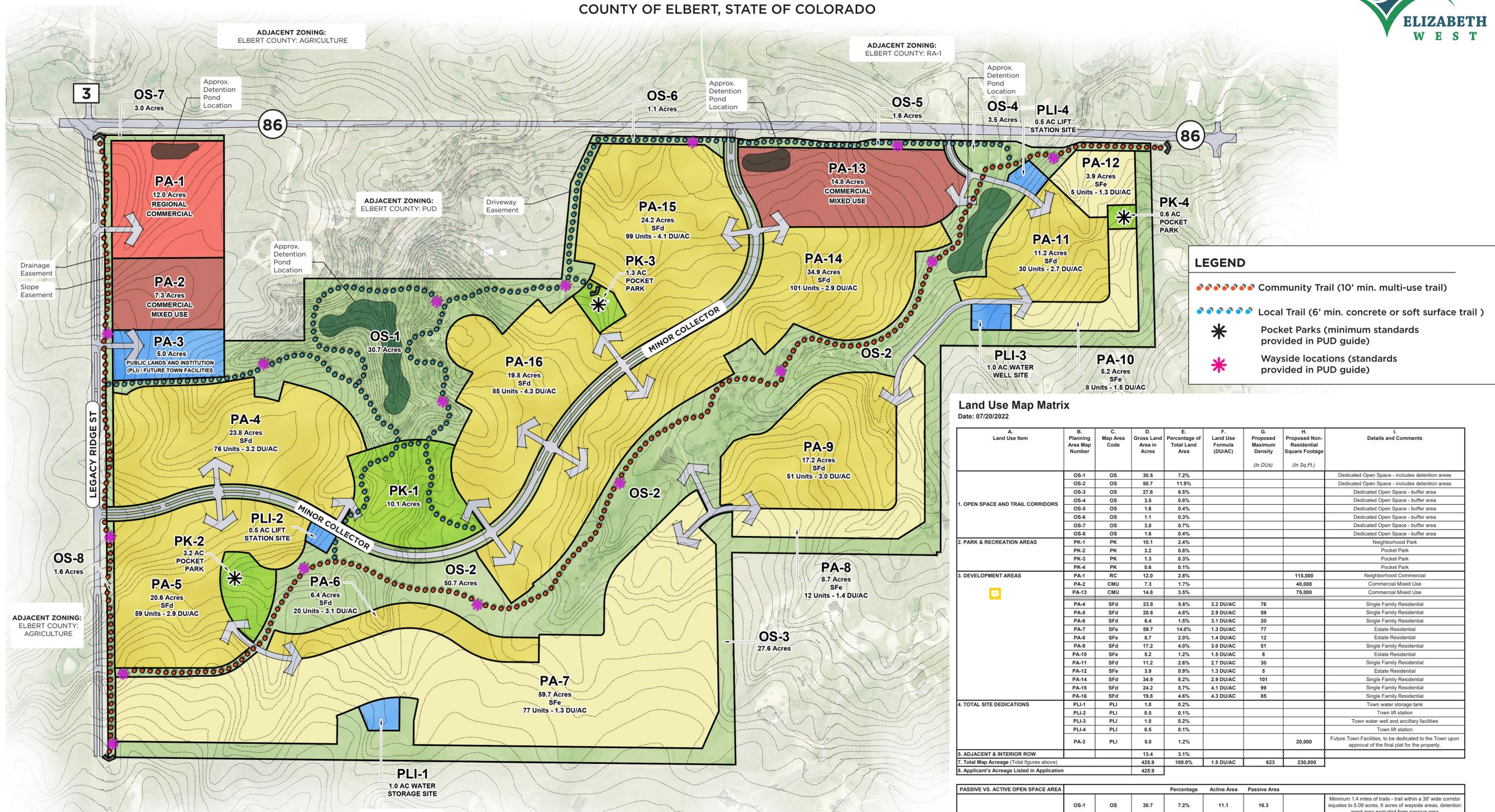
LAND USE PLAN

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SUBMITTED ON:
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3 OF 4



LEGEND

- Community Trail (10' min. multi-use trail)
- Local Trail (6' min. concrete or soft surface trail)
- Pocket Parks (minimum standards provided in PUD guide)
- Wayside locations (standards provided in PUD guide)

Land Use Map Matrix
Date: 07/20/2022

A. Land Use Item	B. Planning Area Map Number	C. Map Area Code	D. Gross Land Area in Acres	E. Percentage of Total Land Area	F. Land Use Formula (DU/AC)	G. Proposed Maximum Density (In DU's)	H. Proposed Non-Residential Square Footage (In Sq Ft)	I. Details and Comments
1. OPEN SPACE AND TRAIL CORRIDORS	OS-1	OS	30.5	7.2%				Dedicated Open Space - includes detention areas
	OS-2	OS	50.7	11.9%				Dedicated Open Space - includes detention areas
	OS-3	OS	27.6	6.5%				Dedicated Open Space - buffer area
	OS-4	OS	3.5	0.8%				Dedicated Open Space - buffer area
	OS-5	OS	1.6	0.4%				Dedicated Open Space - buffer area
	OS-6	OS	1.1	0.3%				Dedicated Open Space - buffer area
	OS-7	OS	3.0	0.7%				Dedicated Open Space - buffer area
	OS-8	OS	1.6	0.4%				Dedicated Open Space - buffer area
2. PARK & RECREATION AREAS	PK-1	PK	10.1	2.4%				Neighborhood Park
	PK-2	PK	3.2	0.8%				Pocket Park
	PK-3	PK	1.3	0.3%				Pocket Park
	PK-4	PK	0.6	0.1%				Pocket Park
3. DEVELOPMENT AREAS	PA-1	RC	12.0	2.8%			115,000	Neighborhood Commercial
	PA-2	CMU	7.3	1.7%			40,000	Commercial Mixed Use
	PA-13	CMU	14.8	3.5%			75,000	Commercial Mixed Use
	PA-4	SFd	23.8	5.6%	3.2 DU/AC	76		Single Family Residential
	PA-5	SFd	20.6	4.8%	2.9 DU/AC	59		Single Family Residential
	PA-6	SFd	6.4	1.5%	3.1 DU/AC	20		Single Family Residential
	PA-7	SFe	59.7	14.0%	1.3 DU/AC	77		Estate Residential
	PA-8	SFe	8.7	2.0%	1.4 DU/AC	12		Estate Residential
	PA-9	SFd	17.2	4.0%	3.0 DU/AC	51		Single Family Residential
	PA-10	SFa	5.2	1.2%	1.5 DU/AC	5		Estate Residential
	PA-11	SFd	11.2	2.6%	2.7 DU/AC	30		Single Family Residential
	PA-12	SFa	3.9	0.9%	1.3 DU/AC	5		Estate Residential
	PA-14	SFd	34.9	8.2%	2.9 DU/AC	101		Single Family Residential
	PA-15	SFd	24.2	5.7%	4.1 DU/AC	99		Single Family Residential
	PA-16	SFd	19.8	4.6%	4.3 DU/AC	85		Single Family Residential
	4. TOTAL SITE DEDICATIONS	PLI-1	PLI	1.0	0.2%			
PLI-2		PLI	0.5	0.1%				Town lift station
PLI-3		PLI	1.0	0.2%				Town water well and ancillary facilities
PLI-4		PLI	0.5	0.1%				Town lift station
PA-3		PLI	5.0	1.2%			20,000	Future Town Facilities, to be dedicated to the Town upon approval of the final plat for the property.
5. ADJACENT & INTERIOR ROW			13.4	3.1%				
7. Total Map Acreage (Total figures above)			425.9	100.0%	1.5 DU/AC	623	230,000	
8. Applicant's Acreage Listed in Application			425.9					

	PASSIVE VS. ACTIVE OPEN SPACE AREA		Percentage		Active Area	Passive Area	
	OS	PK	OS	PK			
9. OPEN SPACE AND TRAIL CORRIDORS	OS-1	OS	30.7	7.2%	11.1	16.3	Minimum 1.4 miles of trails - trail within a 30' wide corridor equates to 5.09 acres, 6 acres of wayside areas, detention pond area excluded from passive area
	OS-2	OS	50.7	11.9%	13.1	35.4	Minimum 1.4 miles of trails - trail within a 30' wide corridor equates to 5.09 acres, 8 acres of wayside areas, detention pond area excluded from passive area
	OS-3	OS	27.6	6.5%			Buffer area, no credit received
	OS-4	OS	3.5	0.8%	1.09		Minimum 0.3 miles of trails - trail within a 30' wide corridor equates to 1.09 acres
	OS-5	OS	1.6	0.4%	0.73		Minimum 0.2 miles of trails - trail within a 30' wide corridor equates to 0.73 acres
	OS-6	OS	1.1	0.3%	0.36		Minimum 0.1 miles of trails - trail within a 30' wide corridor equates to 0.36 acres
	OS-7	OS	3.0	0.7%	1.45		Minimum 0.4 miles of trails - trail within a 30' wide corridor equates to 1.45 acres
	OS-8	OS	1.6	0.4%	1.09		Minimum 0.3 miles of trails - trail within a 30' wide corridor equates to 1.09 acres
10. PARK & RECREATION AREAS	PK-1	PK	10.1	2.4%	10.1		Neighborhood Park
	PK-2	PK	3.2	0.8%	3.2		Pocket Park
	PK-3	PK	1.3	0.3%	1.3		Pocket Park
	PK-4	PK	0.6	0.1%	0.6		Pocket Park
11. Total Open Space & Park Acreage (Total figures above)			135.0	31.7%			
12. Total Active Area (10% of property required - 42.6 acres)				10.4%	44.1		
13. Total Passive Area (10% of property required - 42.6 acres)				12.2%		51.8	



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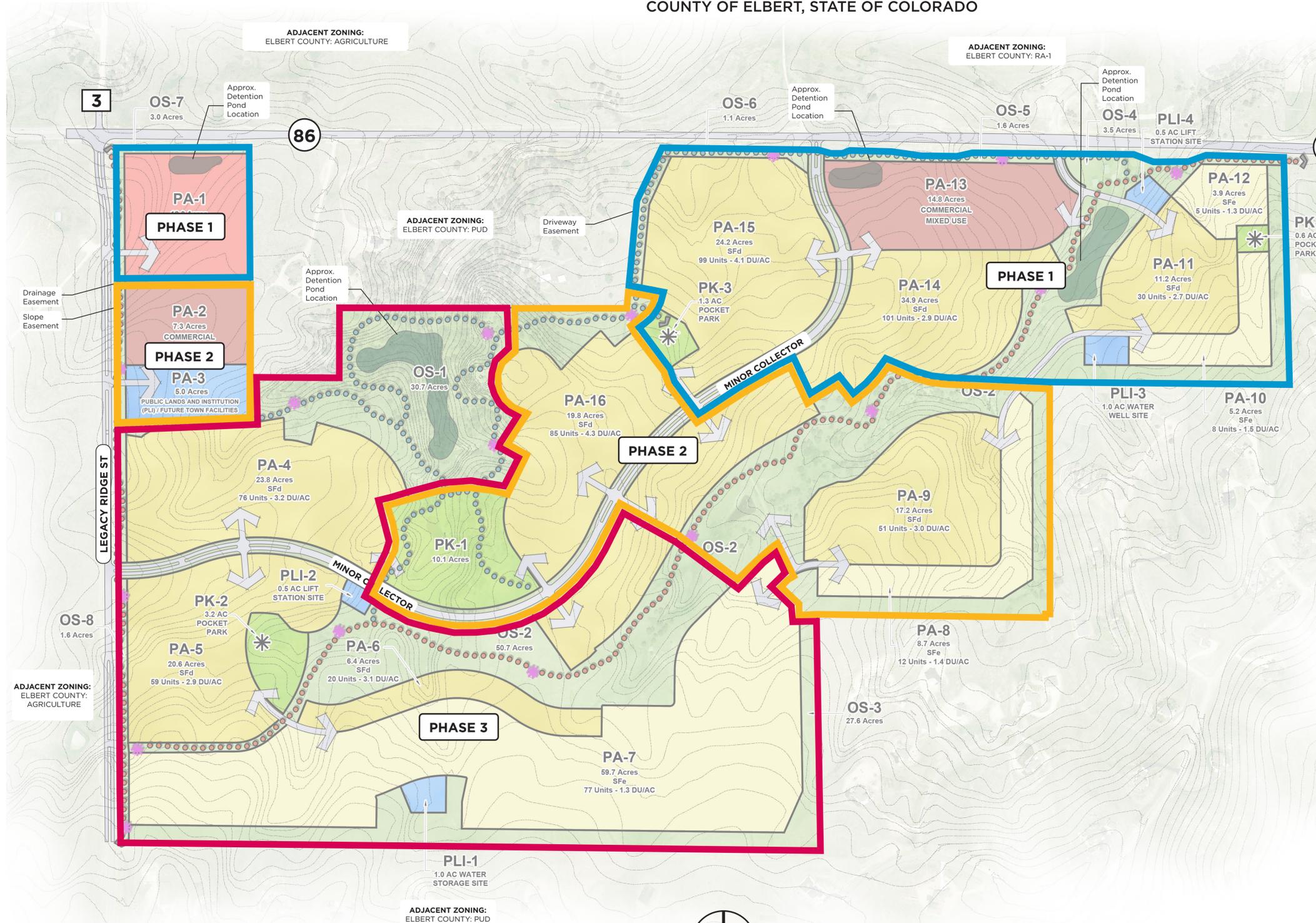
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- Community Trail (10' min. multi-use trail)
- Local Trail (6' min. concrete or soft surface trail)
- Pocket Parks (minimum standards provided in PUD guide)
- Wayside locations (standards provided in PUD guide)

ESTIMATED CONSTRUCTION SCHEDULE:
 PHASE 1: 2023-24
 PHASE 2: 2027-28
 PHASE 3: 2030-31
 NOTE: PHASING SHOWN IS PRELIMINARY AND SUBJECT TO CHANGE AS MARKET CONDITIONS OR FUTURE SALES CANNOT BE PREDICTED.

