



Town of Elizabeth, Colorado

PUD GUIDE

July, 2022

Owner:

BK2, LLC
988 State Hwy 86
Elizabeth, CO 80107
PO Box 3229
Parker, CO 80134

New Point Properties, LLC
1574 State Hwy 86
Elizabeth, CO 80107
5786 Logan Ct.
Denver, CO 80216

Applicant/ Developer:

MF Investments, LLC
PO Box 4701
Englewood, CO 80155
303.507.6651
Contact: Jim Marshall
Email: jim@mglinvestments.com

Planning Consultants:

PCS Group, Inc.
200 Kalamath Street
Denver, Colorado 80223
720.259.8246
Contact: John Prestwich
Jeff Norberg
Email: john@pcsgroupco.com
jeff@pcsgroupco.com

Engineering Consultants:

2N Civil, LLC
6 Inverness Ct. E Suite 125
Englewood, CO 80112
303.925.0544
Contact: Eric Tuin
Email: eric@2ncivil.com

Traffic Consulting:

LSC Transportation Consultants, Inc.
1889 York Street
Denver, Colorado 80206
303.333.1105
Contact: Christopher McGranahan

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I. GENERAL PROVISIONS

A. Application

The provisions of this PUD shall prevail and govern the development of Elizabeth West provided; however, where the provisions of the PUD do not address a specific subject, the provisions of the Town of Elizabeth Zoning Ordinance or any other applicable ordinances, resolutions or regulations of the Town of Elizabeth shall prevail. In case of dispute or ambiguity, the Community Development Director shall interpret the PUD Guide and render a decision.

The standards outlined in the Development Guide shall apply to all property contained within the "ELIZABETH WEST PLAN AND GUIDE" (the "Development Plan"). The terms "DEVELOPMENT PLAN" and "MASTER PLAN" may be used interchangeably.

This Development Guide is only one of several documents that will help guide the Elizabeth West Planned Development. The Development Guide and the Development Plan are the planning documents for this development.

B. Density Standards

The Dwelling Unit Density permitted in any residential Planning Area is an Average Density that shall apply to the entire residential Planning Area and shall not be specifically applicable to any portion thereof. The Average Density of any residential Planning Area shall be computed by dividing the total number of Dwelling Units in the residential Planning Area by the gross acres in the residential Planning Area. Please refer to Land Use Chart in Section III - Development Standards for individual Planning Area densities.

C. Administrative Amendments

Any increase of dwelling units within a Planning Area by more than 10% must be processed as a PUD Amendment under Section 16-1-240 of the Elizabeth Municipal Code.

D. Planning Area Boundaries

Wherever a Planning Area abuts a street as shown on the "ELIZABETH WEST DEVELOPMENT PLAN", the Planning Area boundary is the edge of the abutting right-of-way of such. Wherever a Planning Area does not so abut a street, the Planning Area boundary shall be as shown on the "ELIZABETH WEST DEVELOPMENT PLAN". Modifications in Planning Area boundaries and streets may be accomplished by final road alignments or engineering refinements shown on a Site Plan or Plat, without any amendment to the "ELIZABETH WEST DEVELOPMENT PLAN" provided the Planning Area does not increase or decrease by more than ten percent (10%) in size.



E. Architectural Standards

Architectural Standards shall comply with the Town of Elizabeth Design Review Standards and Guidelines, dated January 2011.

F. Homeowner Associations

Homeowner Associations composed of property owners in residential areas may be created for the following purposes: a) to provide for the continued development, improvement and maintenance of properties and facilities which it owns or administers, and b) to protect the investment, enhance the value, and control the use of property owned by its members.

Homeowner's Associations or special districts may be created in residential areas where common lands or facilities are to be owned and maintained by the Homeowner's Association or special district.

G. Utilities

All utilities shall be placed underground. Utility meters not sited underground shall be enclosed in a meter housing affixed to the exterior or side of structures. Above ground utility connections are not permitted on the front facade of homes. These standards may be superseded by the Utility provider.

II. DEFINITIONS

A. Purposes: It is the purpose of this Article to define words, terms and phrases contained within this PUD Development Guide. See the Town of Elizabeth Land Development Code for other definitions not provided herein.

B. Word Usage: In the interpretation of this Guide, the provisions and rules of this section shall be observed and applied, except when the context requires otherwise.

1. The particular controls the general.
2. In the case of any difference of meaning or implication between the text of this Guide and any caption or table, the text shall control.
3. Words used or defined in one tense or form shall include other tenses and derivative forms.
4. Words in the singular number shall include the plural number and words in the plural number shall include the singular number.
5. The masculine gender shall include the feminine and the feminine gender shall include the masculine.
6. The word "shall" is mandatory.
7. The word "may" is permissive.

C. Definitions:

1. **Accessory Buildings.** Detached subordinate building(s) or Structure(s), the use of which is customarily incidental to that of the Principal Building or to the main use of the land and which is located on the same lot with the Main Building or use.
2. **Board of Trustees.** The Board of Trustees of the Town of Elizabeth.
3. **Building, Principal or Main.** A building or buildings which may contain one or more Dwelling Unit(s) or in which is conducted one or more of the permitted Principal Uses of the Lot or project in which it is situated and including areas such as garages which are attached to or architecturally integrated with the principal building.
4. **Building Front.** That exterior wall of a Building which faces a Front Lot Line of a Lot.
5. **Building Side.** That exterior wall of a Building which faces a Side Lot Line of a Lot.



6. **Building Rear.** That exterior wall of a Building which faces a Rear Lot Line of a Lot.
7. **Community Information Center and Kiosks.** Structures related to community informational signage and wayfinding; may include mailbox clusters.
8. **Density, Gross or Average.** A ratio of number of Dwelling Units per acre calculated by dividing the total number of Dwelling Units in the residential Planning Area by the gross acres in the residential Planning Area.
9. **Dwelling Unit, Single-Family Detached.** A type of Dwelling Unit having no roof, wall or floor in common with any other Dwelling Unit.
10. **Garage, Parallel.** A garage, attached or detached, which is oriented so that the axis which corresponds with the garage opening is substantially parallel to the adjacent street from which the Lot derives access.
11. **Garage, Side-Load.** A garage, attached or detached, which is oriented so that the axis which corresponds with the garage opening is substantially perpendicular to the adjacent street from which the Lot derives access.
12. **Land Use Category.** A set of permitted land use types which are aggregated to form a land use classification similar in nature to zoning districts. Each Land Use Category is identified on the Land Use Chart in this PUD Development Guide.
13. **Planning Areas.** Areas of land delineated on the PUD Zoning Document identified with a phrase or symbol which designates a specific set of permitted land use types according to the Land Use Categories provided in this PUD Development Guide. Planning Area boundaries are as depicted on the PUD Zoning Document.
14. **Setback.** The distance between the building to property line.
15. **Structure.** Anything constructed or erected, which requires permanent location on the ground or is attached to something having a permanent location on the ground, but not including fences or walls less than six (6) feet, poles, lines, cables, or other transmission or distribution facilities or public utilities.

III. DEVELOPMENT STANDARDS

A. Residential (SFe)

1. Intent

Provide for Estate Residential Development allowing for a variety of Single-Family Detached Dwelling Units and Accessory Uses at no more than 2 Dwelling Units per acre.

2. Uses Permitted by Right

- a. Single-Family Detached Dwelling Units.
- b. A temporary sales and marketing center function developed to showcase a variety of builders and housing types within a limited area.
- c. Temporary model home and construction trailer sales office.
- d. Community information center and kiosks.
- e. Accessory Uses.
- f. Open Space.
- g. Public or Private recreational and park uses, recreational facilities, including but not limited to: tennis courts, swimming pools and jogging, riding, hiking and biking trails.
- h. Any other uses consistent with the purposes of this Section and compatible with the uses set forth herein, as permitted by the Town of Elizabeth's code.

3. Uses Permitted by Special Review

- a. Buildings, garages and utility stations related to emergency services, such as ambulance, fire, police and rescue.
- b. Neighborhood public service, health and education facilities, such as community centers.

Development Standards



a. **Average Density.** The Maximum Density shall be up to two (2) Dwelling Units per acre for each SFe Planning Area, specific densities are specified in the Land Use Chart in Section III - Land Use Regulations of this Development Guide and shown on the Development Plan.

b. **Maximum Number of Dwelling Units.** The maximum number of Dwelling Units permitted within each SFe residential Planning Area are specified in Land Use Chart in Section III - Land Use Regulations of this Development Guide and shown on the Development Plan.

c. **Building Setback and Minimum Lot Width:**

Single-Family Detached Unit

Minimum Lot Width	125 feet, measured at the front setback
Building Front	25 feet (Principal Building) 25 feet (Side-load garage) 30 feet (Garage opening facing the street)
Building Sides	20 feet from local street 15 feet from internal property line
Building Rear	30 feet from rear property line

Accessory Buildings

Front	Must be a minimum of 10' behind the forward most plane of the Principal Building
Sides	20 feet from local street 15 feet from internal property line
Rear	30 feet from rear property line

d. **Setback from Highway 86 and Major Collectors:** Lots shall be setback a minimum of one hundred (100) feet from the centerline of the above streets.

e. **Driveway Access:** Driveways, unless shared, should not be closer than five (5) feet to an adjoining lot.

f. **Building Separation.** The minimum building separation shall be the greater of:
 i. Thirty (30) feet for Single-Family Detached Dwelling Units and twenty (20) feet for other buildings located within SFe Land Use Planning Areas on a separate lot or tract not utilized for residential use such as a pocket park or similar, or
 ii. Shall be governed by the applicable building code.

g. **Building Height.** No residential Buildings within SFe Planning Areas shall exceed thirty-five (35) feet in height except by special review, accessory uses have a maximum height of twenty (20) feet.

h. **Minimum Lot Sizes.** The minimum lot sizes in SFe residential Planning Areas shall be twenty-one thousand seven hundred eighty (21,780) square feet, or 1/2 acre.

i. **Encroachments**

- i. Side and rear setbacks shall allow for encroachments up to 3 feet beyond the building foundation for below grade window wells.
- ii. Refer to Town of Elizabeth Land Use Code for all other encroachment allowances.

j. **Lot Coverage** For SFe units, the maximum lot coverage of the primary unit shall be 40 percent, not including accessory buildings. The maximum lot coverage of all structures shall be 50 percent.



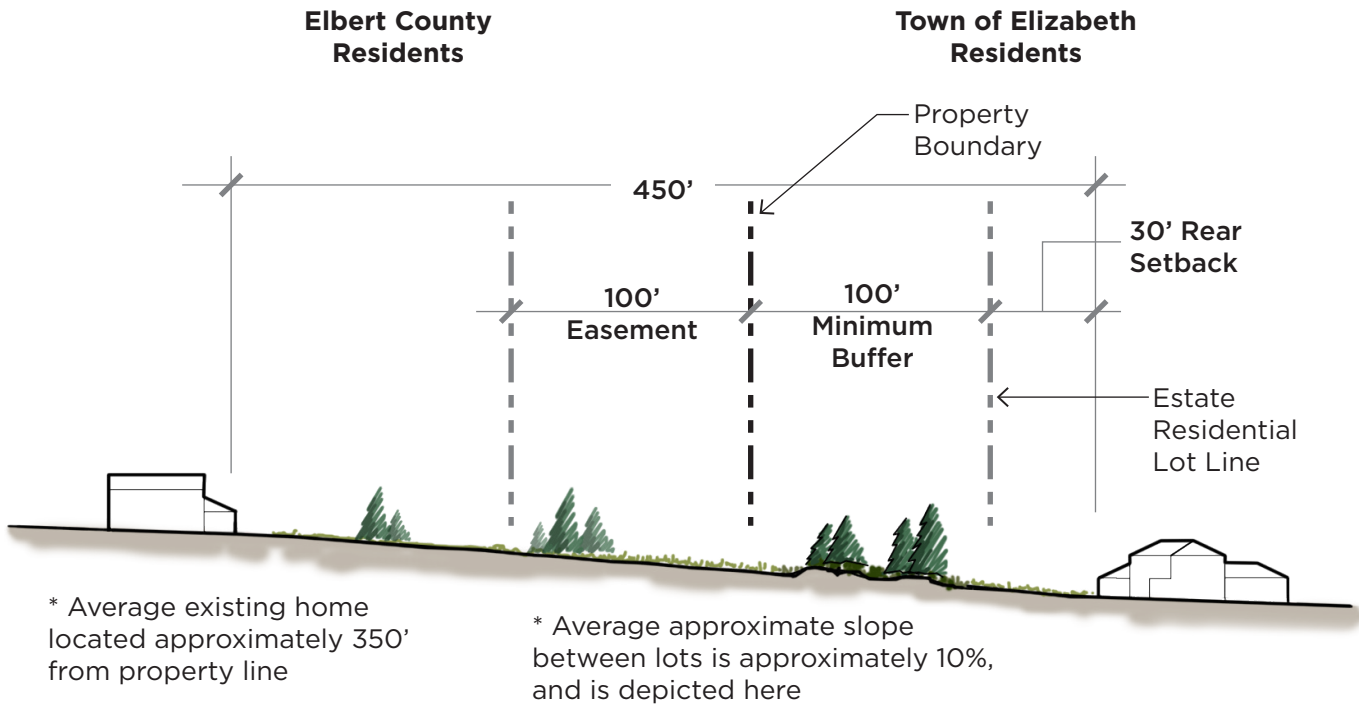
- k. **Minimum vegetative area** For SFe units, 30% minimum vegetative area.
- l. **Compliance with Land Use and Development Code** Elizabeth West will comply with Sec. 16-1-40 (f, 2,4,11,13,14), and (g, 12,14,15,17) of the Town of Elizabeth Land Use and Development Code, the provisions are listed below for simplicity.
- (f) The following general provisions shall apply:
- (2) Total lot coverage of accessory buildings shall not exceed twenty-five percent (25%) of the total square footage of the lot, and the total square footage of any single accessory building may not exceed the total square footage of the dwelling unit's footprint.
 - (4) Fences, hedges and walls. Fences, hedges and walls shall be permitted in all districts and do not have to comply with the minimum setbacks of the zoning district in which they are located if the following regulations are complied with:
 - a. Fences, hedges and walls shall not exceed thirty (30) inches in height in corner lots consistent with Section 16-1-200 of this Article.
 - b. Fences, hedges and walls in residential areas shall not exceed six (6) feet in height and shall not exceed four (4) feet in height when located in required front yards.
 - (11) The front building facade and main entrance to all residential buildings shall be oriented toward a public street.
 - (13) Roofs shall have a minimum pitch of 6:12 (six [6] units rise to twelve [12] units run), and gable style roofing shall be utilized.
 - a. Shallow-pitch gable roofs, mansard, flat, A-frame and other irregular roof forms are prohibited unless integral to a generally recognized architectural style.
 - (14) Variation:
 - a. Single-family dwellings shall vary by providing a range of compatible styles within neighborhoods and among neighborhoods throughout the community by utilizing differing elevations; sizes and footprints; number of stories; entry treatments; roof configurations; window design; use of color; and other features to achieve variety.
 - b. Single-family homes using identical or near-identical elevation separated by a minimum of three (3) single-family homes with different elevations and details. Identical or near-identical elevations shall not be located directly or diagonally across the street from one another.
- (g) The following additional dimensional requirements are applicable:
- (12) All dwellings and structures shall be constructed in accordance with all applicable Town regulations and the International Building Code, as adopted by the Town.
 - (14) For all single-family detached dwellings, the following lot variations apply:
 - a. Not more than three (3) adjacent newly platted lots shall have the same width.
 - b. Required variations in lot width shall be not less than five (5) feet.
 - c. Required variations in front yard setbacks shall be in distances of not less than five (5) feet.
 - d. Not more than sixty percent (60%) of front yard setbacks on the same side of a street within a block shall be the same. A minimum difference of eighteen (18) inches is required.
 - (15) Front-loaded garages:
 - a. Must be recessed a minimum of five (5) feet back from the main front building facade.
 - b. Are limited to not more than one (1) double-wide door and one (1) single-wide door or three (3) single-wide doors.
 - (17) Building location on a lot, including subtle variations in front yard and side yard setbacks, shall be utilized to reduce the building mass and bulk for single-family buildings, especially in larger development projects.



m. **Buffer Area OS-3 Landscape Standards**

Buffer Landscaping: At the preliminary plat stage a preliminary grading plan will be developed to determine the best location for berming during the construction stage of the project. Landscaping will be provided in the amounts listed below.

- i. Amount: Buffer plantings located within the 100' buffer shall contain a minimum of one tree and five shrubs for every 25 linear feet of the width of the proposed house and any accessory building (75% of the trees provided shall be evergreen).
- ii. Location: Plantings shall be arranged in a natural/meandering pattern and not in a rigid straight line.



n. Lot Typical



B. Residential (SFd)

1. Intent

Provide for Residential Development allowing for a variety of Single-Family Detached Dwelling Units and Accessory Uses at no more than 4.5 Dwelling Units per acre.

2. Uses Permitted by Right

- a. Single-Family Detached Dwelling Units.
- b. A temporary sales and marketing center function developed to showcase a variety of builders and housing types within a limited area.
- c. Temporary model home and construction trailer sales office.
- d. Community information center and kiosks.
- e. Accessory Uses.
- f. Open Space.
- g. Public or Private recreational and park uses, recreational facilities, including but not limited to: tennis courts, swimming pools and jogging, riding, hiking and biking trails.
- h. Any other uses consistent with the purposes of this Section and compatible with the uses



set forth herein, as permitted by the Town of Elizabeth's code.

3. Uses Permitted by Special Review

- a. Buildings, garages and utility stations related to emergency services, such as ambulance, fire, police and rescue.
- b. Neighborhood public service, health and education facilities, such as community centers.
- c. ~~Child Care Centers.~~

4. Development Standards

- a. **Average Density.** The Maximum Density shall be up to four and five-tenths (4.5) Dwelling Units per acre for each SFd Planning Area, specific densities are specified in the Land Use Chart in Section III - Land Use Regulations of this Development Guide and shown on the Development Plan.
- b. **Maximum Number of Dwelling Units.** The maximum number of Dwelling Units permitted within each SFd residential Planning Area are specified in Land Use Chart in Section III - Land Use Regulations of this Development Guide and shown on the Development Plan.

c. Building Setback:

Single-Family Detached Unit

Minimum Lot Width	45 feet, measured at the front setback
Building Front	20 feet (Principal Building) 15 feet (Side-load garage) 20 feet (Garage opening facing the street)

Building Sides	10 feet from local street 5 feet from internal property line
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Building Rear	20 feet (Side-load garage) 15 feet from rear property line
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Accessory Buildings

Front	Must be behind the Principal Building
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Sides	20 feet from local street 5 feet from internal property line
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Rear	10 feet from rear property line
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- d. **Setback from Highway 86 and Major Collectors:** Lots shall be setback a minimum of one hundred (100) feet from the centerline of the above streets.

- e. **Driveway Access:** Driveways, unless shared, should not be closer than five (5) feet to an adjoining lot

- f. **Building Separation.** The minimum building separation shall be the greater of:

- i. Ten (10) feet for Single-Family Detached Dwelling Units, or
- ii. Shall be governed by the applicable building code.

- g. **Building Height.** No residential Buildings within SFd Planning Areas shall exceed thirty-five (35) feet in height except by special review, accessory uses have a maximum height of twenty (20) feet.

- h. **Minimum Lot Sizes.** The minimum lot sizes in SFd residential Planning Areas shall be forty-five hundred (4,500) square feet.

- i. **Encroachments**

- i. Side and rear setbacks shall allow for encroachments up to 3 feet beyond the building



foundation for below grade window wells.

ii. Refer to Town of Elizabeth Land Use Code for all other encroachment allowances

j. **Lot Coverage** For SFd units, the maximum lot coverage of the primary unit shall be 60 percent, not including not including accessory buildings. The maximum lot coverage of all structures shall be 70 percent.

k. **Minimum vegetative area** For SFd units, 20% minimum vegetative area.

l. **Compliance with Land Use and Development Code** Elizabeth West will comply with Sec. 16-1-40 (f, 2,4,11,13,14), and (g, 12,14,15,17) of the Town of Elizabeth Land Use and Development Code, the provisions are listed below for simplicity.

(f) The following general provisions shall apply:

(2) Total lot coverage of accessory buildings shall not exceed twenty-five percent (25%) of the total square footage of the lot, and the total square footage of any single accessory building may not exceed the total square footage of the dwelling unit's footprint.

(4) Fences, hedges and walls. Fences, hedges and walls shall be permitted in all districts and do not have to comply with the minimum setbacks of the zoning district in which they are located if the following regulations are complied with:

a. Fences, hedges and walls shall not exceed thirty (30) inches in height in corner lots consistent with Section 16-1-200 of this Article.

b. Fences, hedges and walls in residential areas shall not exceed six (6) feet in height and shall not exceed four (4) feet in height when located in required front yards.

(11) The front building facade and main entrance to all residential buildings shall be oriented toward a public street.

(13) Roofs shall have a minimum pitch of 6:12 (six [6] units rise to twelve [12] units run), and gable style roofing shall be utilized.

a. Shallow-pitch gable roofs, mansard, flat, A-frame and other irregular roof forms are prohibited unless integral to a generally recognized architectural style.

(14) Variation:

a. Single-family dwellings shall vary by providing a range of compatible styles within neighborhoods and among neighborhoods throughout the community by utilizing differing elevations; sizes and footprints; number of stories; entry treatments; roof configurations; window design; use of color; and other features to achieve variety.

b. Single-family homes using identical or near-identical elevation separated by a minimum of three (3) single-family homes with different elevations and details. Identical or near-identical elevations shall not be located directly or diagonally across the street from one another.

(g) The following additional dimensional requirements are applicable:

(12) All dwellings and structures shall be constructed in accordance with all applicable Town regulations and the International Building Code, as adopted by the Town.

(14) For all single-family detached dwellings, the following lot variations apply:

a. Not more than three (3) adjacent newly platted lots shall have the same width.

b. Required variations in lot width shall be not less than five (5) feet.

c. Required variations in front yard setbacks shall be in distances of not less than five (5) feet.

d. Not more than sixty percent (60%) of front yard setbacks on the same side of a street within a block shall be the same. A minimum difference of eighteen (18) inches is required.

(15) Front-loaded garages:

a. Must be recessed a minimum of five (5) feet back from the main front building



facade.

b. Are limited to not more than one (1) double-wide door and one (1) single-wide door or three (3) single-wide doors.

(17) Building location on a lot, including subtle variations in front yard and side yard setbacks, shall be utilized to reduce the building mass and bulk for single-family buildings, especially in larger development projects.

m. **Lot Typical**



C. Regional Commercial (RC)

1. Intent

To provide for general and large-scale commercial enterprises, such as retail, eating, entertainment, convenience retail and professional offices and services.

2. Uses Permitted by Right



Defer to the Town of Elizabeth Zoning Code. 

3. Uses Permitted by Special Review

Defer to the Town of Elizabeth Zoning Code. 

4. Development Standards

Defer to the Town of Elizabeth Zoning Code. 

5. Setback from Highway 86 and Major Collectors: Lots shall be setback a minimum of one hundred (100) feet from the centerline of the above streets. 

D. Commercial Mixed Use (CMU)

1. Intent

To provide for the integration, horizontally and vertically, of a broad range of small scale retail, professional offices and services, town facilities, live/work developments, higher density residential and commercial accommodations that promote pedestrian activity.

2. Uses Permitted by Right

Defer to the Town of Elizabeth Zoning Code.

3. Uses Permitted by Special Review

Defer to the Town of Elizabeth Zoning Code.

4. Development Standards

Defer to the Town of Elizabeth Zoning Code.

5. Setback from Highway 86 and Major Collectors: Lots shall be setback a minimum of one hundred (100) feet from the centerline of the above streets.

E. Parks & Open Space (OS)

1. Intent

To provide passive and active open space uses which will separate, define and protect the development planning areas contained within this Planned Development. At a minimum 20% of the site shall be open space. A minimum 10% of the site shall be active open space, in accordance with the Town of Elizabeth's landscape requirements.

Elizabeth West will incorporate a connective system of trails and open space to provide for convenient community access and to serve as an identifiable feature of the community. Open Space is to be distributed throughout the development and made accessible by a trail system. These will accommodate a variety of recreational activities including community and regional non-motorized (i.e. pedestrian and bicycle) access. The PUD Plan indicates trail connections, but the exact locations will be determined in latter phases of the entitlement process. Smaller pocket parks and open spaces are to be designed within each planning area to extend recreational opportunities within walking distance of most residents.

The primary park within the Elizabeth West development is identified as PK-1 and has been



located to serve as a central amenity space and access point for the broader open space system. Parks shall provide uses which complement residential neighborhoods and includes both pocket parks and neighborhood parks.

Parks and Open Space improvements shall be phased to coincide with the development of adjacent residential planning areas. All parks and open space areas within Elizabeth West shall be owned and maintained by a Special District of the HOA.

2. Uses Permitted by Right

- a. Passive recreation uses and open space.
- b. Jogging, hiking and/or bicycle trails.
- c. Dog Parks
- d. Community Gardens
- e. Drainage Facilities
- f. Picnic shelters.
- g. Park recreation uses, including but not limited to the following facilities: baseball diamonds, softball diamonds, soccer fields, tennis courts, volleyball courts, basketball courts, swimming pools, play apparatus, picnic areas, recreation center, and jogging, hiking and/or bicycling trails. Lighting shall be prohibited on sports fields.

3. Development Standards

- a. **Building Setback: Street.** The minimum building setback from any public street right-of-way line shall be:

Building front	25 feet
Building side	15 feet
Building rear	25 feet
- b. **Building Separation.** The minimum building or structure separation shall be the greater of:
 - i. Twenty (20) feet or
 - ii. Shall be governed by the applicable building code.
- c. **Building Height.** No buildings or structures shall exceed thirty-five (35) feet in height

4. Development Criteria for Parks

- a. **Pocket Park**
 - i. Refer to the Town of Elizabeth Land Development Code for parks, trails and open space.
 - ii. Size: Generally ¼ to 3 acres in size
 - iii. Location/Orientation: Centrally located within the residential development and/or easily accessible by residents without the use of vehicles. A 5-10 minute walking distance
 - iv. Frontage: Required on one, preferred two or more local streets.
 - v. Pocket Parks are required to include all of the following infrastructure:
 - a. Benches (two minimum)
 - b. Bicycle Racks (min. to serve four bikes)
 - c. Pet Waste Station
 - d. Shade Structure
 - e. ADA Accessible Walkways
 - f. Trash Receptacle
 - g. Turf and landscape plantings to provide shade over at least 25% of the area.



- h. Irrigation
- ix. Pocket Parks are required to include at least one of the following components:
 - a. Display Garden
 - b. Group Picnic Shelter (min. 500 sf and two picnic tables)
 - c. Loop Walk (min. length 1,000 lf)
 - d. Natural Area (min. 10,000 sf and soft surface trail providing access)
 - e. Multi-level Play Structure
 - f. Basketball (one half court)
 - g. Bocce Ball, Horseshoe Pits, Shuffleboard, or similar
 - h. Boulder Play Area
 - i. Community Garden
 - j. Fitness Course
 - k. Handball or Tennis Courts
 - l. Turf play berm (min. 3 feet hieght)
 - m. Playground with at least 3 pieces of play equipment
 - n. Public Art

b. Neighborhood Park

- i. Refer to Town of Elizabeth Land Development Code for parks, trails and open space.
- ii. Size: A minimum of 10.1 acres in size.
- iii. Location/Orientation: Within an immediate neighborhood with a ¼ to ½ mile service radius. Neighborhood parks shall serve as an extension of the neighborhood around them. They shall be a social and recreation focal point. Interconnected to trails/sidewalks low-volume streets within walking/biking distance of most users.
- iv. Frontage: High visibility to surrounding local streets. On street parking
- v. Neighborhood Parks are required to include all of the following infrastructure:
 - a. Benches (ten minimum)
 - b. Bicycle Racks (min. to serve ten bikes)
 - c. Pet Waste Station (two minimum)
 - d. Group Shelter (minimum 900 sf)
 - e. Picnic Tables (four minimum)
 - f. ADA Accessible Walkways
 - g. Trash Receptacles (four minimum)
 - h. Multi-Use Play Field (roughly 200' x 200')
 - i. All Ages Playground (minimum 5 pieces of play equipment)
 - j. Internal Trails
 - k. Signage
 - l. Irrigation

- vi. Neighborhood Parks are required to include at least two of the following components:
 - a. Display Garden
 - b. Multi-level Play Structure
 - c. Basketball (one half court)
 - d. Bocce Ball, Horseshoe Pits, Shuffleboard, or other ground play surface
 - e. Boulder Play Area
 - f. Community Garden
 - g. Fitness Course
 - h. Handball or Tennis Courts
 - i. Turf play berm (min. 3 feet hieght)
 - j. Public Art



4. Development Criteria for Open Space

a. Open Space

- i. Refer to the Town of Elizabeth Land Development Code for parks, trails and open space.
- ii. A minimum 100' Open Space buffer shall be provided along the south and east boundaries of the property.

b. Community Trails

- i. Connects to the broader community of Elizabeth, Community Trails will generally follow an alignment from the northeast portion of the site to the southeast, as well as along the western edge of the site running north and south.
- ii. Community Trails are to be a minimum 10' wide and composed of concrete.
- iii. Slopes adjacent to trails shall not exceed 6% for a distance of 10' from edge of concrete.
- iv. Trails shall comply with Town of Elizabeth's construction specifications.

c. Local Trails

- i. Connects community residents through open space to pocket parks, neighborhood parks, and other planning areas.
- ii. Local Trails are to be a minimum 6' wide and may be composed of either a soft surface material or concrete, or both.
- iii. Slopes adjacent to trails shall not exceed 6% for a distance of 10' from edge of trail
- iv. Trails shall comply with Town of Elizabeth's construction specifications.

d. Waysides

- i. Located approximately every 1/4 mile along community and local trails, acting as respites, picnic areas, active single track bike areas, static outdoor exercise equipment areas, etc.
- ii. Will include 6' benches or tables which shall be surface mounted on a concrete pad.
- iii. Static outdoor exercise equipment will be located at one or more waysides along the community trail.

F. Public Lands & Institutions (PLI)

1. Intent

To provide for the development of land uses that are publicly owned or are public in nature.

2. Uses Permitted by Right

Refer to the Town of Elizabeth Land Use Code - Section 16.1.140

3. Uses Permitted by Special Review

Refer to the Town of Elizabeth Land Use Code - Section 16.1.140

4. Development Standards

Refer to the Town of Elizabeth Land Use Code - Section 16.1.140

5. Buffer Landscape Standards

Perimeter Landscaping: When any above ground equipment is located facing public streets,



transportation corridors, public open space, residential neighborhoods, this area shall be landscaped with a variety of plant materials to ensure seasonal interest.

- i. Amount: Perimeter plantings located adjacent to all other uses shall have a 20' buffer and contain a minimum of one tree and five shrubs for every 25 linear feet (50% of the trees provided shall be evergreen) of the length of the exposed above ground equipment.
- ii. Location: Plantings shall be arranged to screen utility hardware and mechanical equipment, define entrances if applicable, and soften featureless walls if applicable.

G. Tree Protection and Preservation

1. Protection of Existing Vegetation

Prior to commencement of any site work, the Contractor, shall identify all designated vegetation suitable for preservation. The Contractor shall employ a certified arborist to perform a tree inventory of the existing trees with a diameter of 6" and over, identifying the species, measuring the trunk diameter at breast height (dbh) (at approximately 54 inches above the ground), measuring the drip line measured as a radius from the trunk to the end of the outermost branch on the tree crown, and evaluating the general condition of each tree. All trees inventoried will be categorized into one of five groups: excellent, good, fair, poor or very poor. Vegetation that is to be preserved on the site shall be protected by creating adequate Vegetation and Tree Protection Zones. Protective fencing and signage shall be placed along the perimeter of designated Vegetation and Tree Protection Zones.

2. Existing Vegetation Representation

All significant existing vegetation shall be depicted on the construction design plans prior to adopting any "approved" plans.

3. Protective Fencing

Vegetation and Tree Protection Zones shall be protected by orange vinyl construction fencing, chain link fencing, or snow fencing at least (4) feet high and supported at (10) foot intervals by metal T-posts. Wooden stakes and rebar posts shall not be used as supports. Fencing shall be maintained upright and in place. All fencing shall be in place prior to commencement of any site work and remain in place until all work has been completed.

4. Signage

All protective fencing shall have a waterproof vegetation protection sign affixed to the fence every (20) feet in such a manner to be clearly visible to workers on the site. Signage shall be maintained visible and legible. Signage shall be written in both Spanish and English and read as follows: "Protected Vegetation: NO traffic, vehicles, or material storage in this area."

5. Prohibited Practices in Tree Protection Zones

Prohibited practices within Tree Protection Zone(s) shall include, but not limited to the following: removal, relocation, or trimming of vegetation; breaking of branches or scraping of the bark; changes to existing grade by excavating, filling, trenching, or use of augers; nailing, bolting, or using vegetation as a temporary support in any way; parking or storing equipment or building materials; dumping of construction waste or materials, disposing of liquids or contaminants; driving equipment through; or removal of protective fencing until all work has



been completed.

6. Tree Protection Zones

The Contractor, in conjunction with the certified arborist, shall identify the critical root zone area for all of the trees that are to be preserved on the site and create adequate Tree Protection Zone(s). The critical root zone shall be determined by whichever encompasses the greatest area: (1) the irregular shape formed around a tree by a series of vertical lines that run through the outermost portion of the canopy of the tree and extend to the ground, often referred to as the drip line; or (2) one and a half (1 1/2) feet of space from the trunk for each inch of trunk diameter in every direction. The critical root zone dimensions will serve as the required dimensions of the Tree Protection Zone.

7. Tunneling and Boring

There shall be no trenching permitted within a Vegetation or Tree Protection Zone. Utilities shall be bored under the Vegetation or Tree Protection Zone in circumstances where it is not possible to trench around the protected area(s). When required, the length of the bore shall be the width of the critical root zone at a minimum depth of forty-eight (48) inches.

8. Soil Protection

Under special circumstances, where vehicle and equipment access is needed through a Vegetation or Tree Protection Zone, permission must be obtained from the Town of Elizabeth or an assigned designee. Any access roads through a Vegetation or Tree Protection Zone shall be created using six (6) inches of wood mulch to reduce soil compaction in areas subject to repeated construction traffic. The mulch shall be replenished as necessary to maintain a six (6) inch depth. Upon completion of all site work, the mulch shall be removed with care taken not to change existing grade.

9. Penalties

Contractor shall be held responsible for any damage to vegetation that was designated to be preserved within designated Vegetation and Tree Protection Zones. Failure to comply with Protection of Existing Vegetation specifications may result in penalties. If the violation results in damage to a tree or other woody plant, there shall be, in addition to any other applicable penalty, a penalty of three (3) times the damage caused to the tree or other woody plant, or \$500, whichever is greater. In the event a tree or other woody plant is removed in violation of any of the provisions of this section, the additional penalty shall be three (3) times the value of the tree. For purposes of calculating the damage to the tree, the most recent edition of the "Guide for Establishing Values of Trees and Other Plants" by the Council of Tree and Landscape Appraisers shall be presumed to provide the appropriate basis for determining damages.

10. Tree Removal Mitigation

It is understood that not every tree on site will be maintained. When a tree that is identified as excellent, or good, in the tree inventory needs to be removed it will be replaced based on the tree inventory. For example, if a tree identified with an 18" dbh needs to be replaced, it will be replaced with a combination of coniferous trees mitigating the 18" with 18 feet of trees, ie: one 10 foot tall and one 8 foot tall coniferous trees (minimum height of 8 feet for mitigation trees). The 18" dbh could also be replaced with deciduous trees that when combined equal 18", for example six 3" caliper trees would qualify as mitigation for the 18" dbh tree that was removed.

H. Lighting and Dark Skies

All lighting shall conform with Article VIII – Lighting Requirements as set forth in the Town of Elizabeth Land Use and Development Code and the Town of Elizabeth Design Review Standards & Guidelines, dated January 2011.



I. Land Use Chart

Land Use Map Matrix

Date: 07/20/2022

A. Land Use Item	B. Planning Area Map Number	C. Map Area Code	D. Gross Land Area in Acres	E. Percentage of Total Land Area	F. Land Use Formula (DU/AC)	G. Proposed Maximum Density (In DUs)	H. Proposed Non-Residential Square Footage (In Sq.Ft.)	I. Details and Comments
1. OPEN SPACE AND TRAIL CORRIDORS	OS-1	OS	30.5	7.2%				Dedicated Open Space - includes detention areas
	OS-2	OS	50.7	11.9%				Dedicated Open Space - includes detention areas
	OS-3	OS	27.6	6.5%				Dedicated Open Space - buffer area
	OS-4	OS	3.5	0.8%				Dedicated Open Space - buffer area
	OS-5	OS	1.6	0.4%				Dedicated Open Space - buffer area
	OS-6	OS	1.1	0.3%				Dedicated Open Space - buffer area
	OS-7	OS	3.0	0.7%				Dedicated Open Space - buffer area
	OS-8	OS	1.6	0.4%				Dedicated Open Space - buffer area
2. PARK & RECREATION AREAS	PK-1	PK	10.1	2.4%				Neighborhood Park
	PK-2	PK	3.2	0.8%				Pocket Park
	PK-3	PK	1.3	0.3%				Pocket Park
	PK-4	PK	0.6	0.1%				Pocket Park
3. DEVELOPMENT AREAS	PA-1	RC	12.0	2.8%			115,000	Neighborhood Commercial
	PA-2	CMU	7.3	1.7%			40,000	Commercial Mixed Use
	PA-13	CMU	14.8	3.5%			75,000	Commercial Mixed Use
	PA-4	SFd	23.8	5.6%	3.2 DU/AC	76		Single Family Residential
	PA-5	SFd	20.6	4.8%	2.9 DU/AC	59		Single Family Residential
	PA-6	SFd	6.4	1.5%	3.1 DU/AC	20		Single Family Residential
	PA-7	SFe	59.7	14.0%	1.3 DU/AC	77		Estate Residential
	PA-8	SFe	8.7	2.0%	1.4 DU/AC	12		Estate Residential
	PA-9	SFd	17.2	4.0%	3.0 DU/AC	51		Single Family Residential
	PA-10	SFe	5.2	1.2%	1.5 DU/AC	8		Estate Residential
	PA-11	SFd	11.2	2.6%	2.7 DU/AC	30		Single Family Residential
	PA-12	SFe	3.9	0.9%	1.3 DU/AC	5		Estate Residential
	PA-14	SFd	34.9	8.2%	2.9 DU/AC	101		Single Family Residential
	PA-15	SFd	24.2	5.7%	4.1 DU/AC	99		Single Family Residential
	PA-16	SFd	19.8	4.6%	4.3 DU/AC	85		Single Family Residential
	4. TOTAL SITE DEDICATIONS	PLI-1	PLI	1.0	0.2%			
PLI-2		PLI	0.5	0.1%				Town lift station
PLI-3		PLI	1.0	0.2%				Town water well and ancillary facilities
PLI-4		PLI	0.5	0.1%				Town lift station
PA-3		PLI	5.0	1.2%			20,000	Future Town Facilities, to be dedicated to the Town upon approval of the final plat for the property.
5. ADJACENT & INTERIOR ROW			13.4	3.1%				
7. Total Map Acreage (Total figures above)			425.9	100.0%	1.5 DU/AC	623	230,000	
8. Applicant's Acreage Listed in Application			425.9					

PASSIVE VS. ACTIVE OPEN SPACE AREA			Percentage		Active Area	Passive Area	
9. OPEN SPACE AND TRAIL CORRIDORS	OS-1	OS	30.7	7.2%	11.1	16.3	Minimum 1.4 miles of trails - trail within a 30' wide corridor equates to 5.09 acres, 6 acres of wayside areas, detention pond area excluded from passive area
	OS-2	OS	50.7	11.9%	13.1	35.4	Minimum 1.4 miles of trails - trail within a 30' wide corridor equates to 5.09 acres, 8 acres of wayside areas, detention pond area excluded from passive area
	OS-3	OS	27.6	6.5%			Buffer area, no credit received
	OS-4	OS	3.5	0.8%	1.09		Minimum 0.3 miles of trails - trail within a 30' wide corridor equates to 1.09 acres
	OS-5	OS	1.6	0.4%	0.73		Minimum 0.2 miles of trails - trail within a 30' wide corridor equates to 0.73 acres
	OS-6	OS	1.1	0.3%	0.36		Minimum 0.1 miles of trails - trail within a 30' wide corridor equates to 0.36 acres
	OS-7	OS	3.0	0.7%	1.45		Minimum 0.4 miles of trails - trail within a 30' wide corridor equates to 1.45 acres
	OS-8	OS	1.6	0.4%	1.09		Minimum 0.3 miles of trails - trail within a 30' wide corridor equates to 1.09 acres
10. PARK & RECREATION AREAS	PK-1	PK	10.1	2.4%	10.1		Neighborhood Park
	PK-2	PK	3.2	0.8%	3.2		Pocket Park
	PK-3	PK	1.3	0.3%	1.3		Pocket Park
	PK-4	PK	0.6	0.1%	0.6		Pocket Park
11. Total Open Space & Park Acreage (Total figures above)			135.0	31.7%			
12. Total Active Area (10% of property required - 42.6 acres)				10.4%	44.1		
13. Total Passive Area (10% of property required - 42.6 acres)				12.2%		51.8	

